

LEGEND:

NEW WHITE GRANULE-COATED MODIFIED BITUMINOUS CAP SHEET SET IN HOT ASPHALT OVER TWO PLYS MODIFIED BITUMINOUS BASE PLYS SET IN HOT ASPHALT OVER 1/2" THICK EXTERIOR GRADE FIBERGLASS-REINFORCED GYPSUM ROOF COVER BOARD MECHANICALLY FASTENED OVER RIGID POLYISOCYANURATE INSULATION (R-30 MINIMUM) OVER 5LB RED ROSIN SIZED PAPER, MECHANICALLY FASTENED THROUGH THE EXISTING T&G WOOD DECKING, TYPICAL. PROVIDE NEW PRESSURE-TREATED T&G WOOD DECKING TO MATCH EXISTING WHEREVER EXISTING IS DAMAGED OR DETERIORATED (ESTIMATE APPROXIMATELY 25% OF ROOF AREA) TYPICAL. SEE SPECIFICATIONS.

1 TAPERED INSULATION SHALL BE 4'-8" AT PERIMETER, 2" MIN AT NEW ROOF DRAIN.

DS EXISTING DOWNSPOUT SYSTEM TO REMAIN, UNLESS NOTED OTHERWISE. PROTECT FROM DAMAGE DURING EXTENT OF WORK.

- KEYNOTE:** (THIS SHEET ONLY)
- 1 EXISTING PRE-FINISHED METAL COPING SYSTEM TO REMAIN. TYPICAL. PROTECT FROM DAMAGE DURING EXTENT OF WORK.
 - 2 LINE OF EXISTING WALL, BELOW, UNLESS NOTED OTHERWISE. SEE SHEET A-101.
 - 3 EXISTING MODIFIED BITUMINOUS ROOF SYSTEM TO REMAIN, TYPICAL. PROTECT FROM DAMAGE DURING EXTENT OF WORK.
 - 4 EXISTING CURB-MOUNTED EXHAUST FAN. SEE MECHANICAL DOCUMENTS. EXTEND EXISTING CURB AS REQUIRED TO PROVIDE MINIMUM 8" FLASHING HEIGHT ABOVE FINISH ROOF PLANE.
 - 5 NEW PRE-FINISHED .040 MEDIUM BRONZE ALUMINUM CURB CAP WITH INTEGRAL FOUR-WAY SLOPE OVER ONE PLY OF NEW MODIFIED BITUMINOUS BASE SHEET OVER NEW 3/4" THICK EXTERIOR GRADE PLYWOOD OVER NEW 18GA GALV. STEEL JOISTS SECURED TO EXISTING ROOF CURB. FILL ALL JOIST CAVITIES SOLID WITH 6" THICK UNFACED BATT INSULATION TO COMPLETELY INSULATE THE EXISTING ROOF PENETRATION. PROTECT EXISTING CURB AND ASSOCIATED FLASHINGS TO REMAIN FROM DAMAGE DURING EXTENT OF WORK. CAP. SEE MECHANICAL DOCUMENTS.
 - 6 NEW PRE-FINISHED .040 MEDIUM BRONZE ALUMINUM BASE FLASHING SYSTEM, CONTINUOUS, TYPICAL.
 - 7 NEW WALL-MOUNTED CROSS-OVER ACCESS LADDER.
 - 8 RE-INSTALL EXISTING CURB-MOUNTED KITCHEN EXHAUST FAN. SEE MECHANICAL DOCUMENTS. EXTEND EXISTING CURB AS REQUIRED TO PROVIDE MINIMUM 8" FLASHING HEIGHT ABOVE FINISH ROOF PLANE. PROTECT EXISTING CURB TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.
 - 9 NEW PRE-FINISHED .040 ALUMINUM GUTTER SYSTEM, 8"W X 6" D. COLOR SHALL BE SELECTED BY CONTRACTING OFFICER.
 - 10 EXISTING WALL-MOUNTED ANTENNA TO REMAIN. PROTECT FROM DAMAGE DURING EXTENT OF WORK.
 - 11 NEW CURB-MOUNTED AIR INTAKE FAN. SEE MECHANICAL DOCUMENTS. PROTECT EXISTING CURB TO REMAIN FROM DAMAGE DURING EXTENT OF WORK. EXTEND EXISTING CURB TO PROVIDE MINIMUM 8" FLASHING HEIGHT ABOVE FINISH ROOF PLANE.
 - 12 PROVIDE NEW EXTERIOR GRADE PLYWOOD DECKING, AND PRESSURE-TREATED WOOD FRAMING, SIZE TO MATCH EXISTING FRAMING AND DECKING, TO INFILL EXISTING OPENING AT DEMOLISHED CHIMNEY.
 - 13 NEW PRE-FINISHED .040 ALUMINUM 6"x8" DOWNSPOUT, WITH DISCHARGE AT GRADE. COLOR SHALL BE SELECTED BY CONTRACTING OFFICER. NO WORK THIS AREA.
 - 14 EXISTING STANDING SEAM METAL CANOPY ROOF, GUTTER AND DOWNSPOUT TO REMAIN, TYPICAL. PROTECT FROM DAMAGE DURING EXTENT OF WORK.
 - 15 EXISTING PLUMBING VENT-THROUGH ROOF TO REMAIN. EXTENT PIPE AS REQUIRED TO PROVIDE MINIMUM FLASHING HEIGHT OF 8" ABOVE FINISH ROOF PLANE.
 - 16 NEW PRE-FINISHED .040 ALUMINUM COPING, CONTINUOUS, WITH .050 ALUMINUM CLEAT, CONTINUOUS. PROVIDE STANDING SEAM JOINTS AT 10'-0" O.C. MAX.
 - 17 NEW ROOF DRAIN CONNECTED TO EXISTING ROOF LEADER.

- GENERAL NOTES:**
1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF WORK.
 2. REFER TO STRUCTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF NEW WORK.
 3. PATCH/REPAIR ALL THRU-WALL (EXTERIOR & INTERIOR) PENETRATIONS, AS REQUIRED. PREP SURFACE TO RECEIVE NEW FINISH (TYPICAL).
 4. CONTRACTOR TO REPLACE OR REPAIR ALL DAMAGED FINISHES TO MATCH EXISTING.

NOTE:
ALL WORK DEPICTED HERE REQUIRES APF
(APPROPRIATED FUNDS).

DO NOT SCALE DRAWINGS

100% DESIGN SUBMITTAL

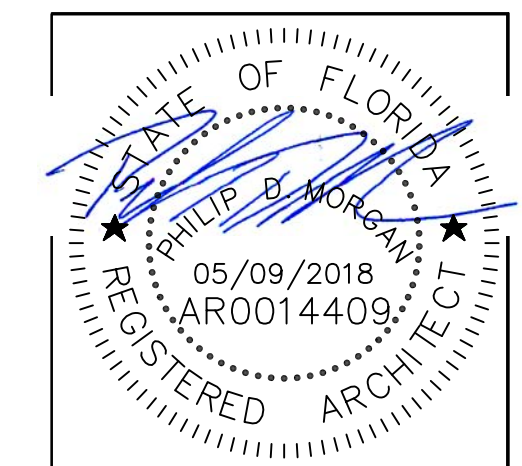
PROJECT NORTH

1 PARTIAL ROOF PLAN- NEW WORK

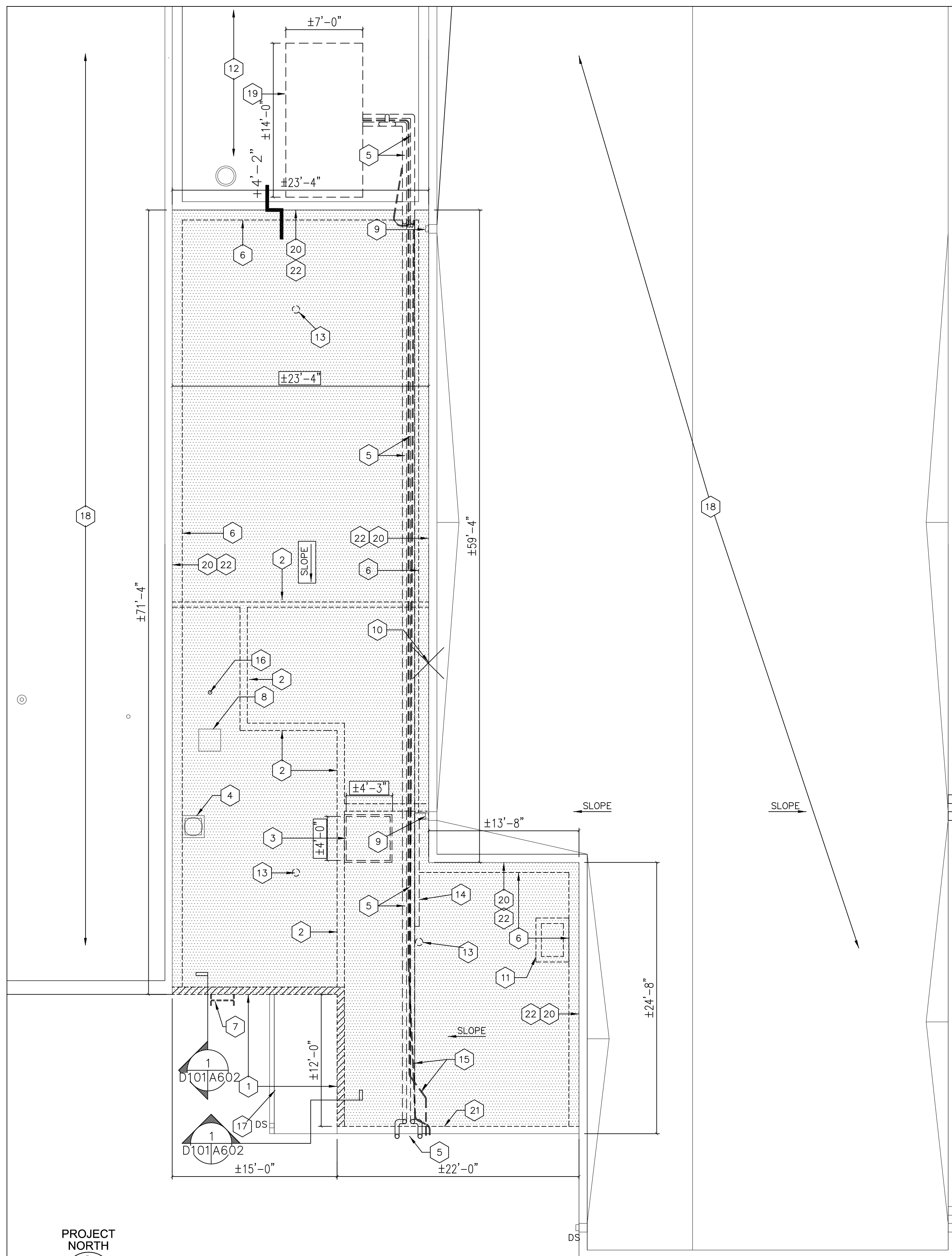
A103A103 SCALE: 3/8"=1'-0"

1' 0" 5' 10' 20'

GRAPHIC SCALE



DESCRIPTION	CORRECTION
DATE	8/17/18
REV #	1
RENOVATE COMMUNITY COMMONS	
BUILDING 90337	
PARTIAL ROOF PLAN - NEW WORK	
AIR FORCE SPECIAL OPERATIONS COMMAND	
1 SPECIAL OPERATIONS CIVIL ENGINEER SQUADRON	
HURLBURT FIELD, FLORIDA	
DATE:	9 MAY 2018
DESIGNED BY:	PDM
DRAWN BY:	JE FULLER
BUILDING NUMBER:	90337
PROJECT NUMBER:	CP1018486
SHEET REFERENCE:	A-103
SHEET NUMBER:	17 of 82



LEGEND:

- REMOVE EXISTING MODIFIED BITUMINOUS ROOFING SYSTEM OVER INSULATION IN ITS ENTIRETY DOWN TO EXISTING WOOD DECKING, INCLUDING ALL FLASHINGS AND NAILERS, UNLESS NOTED OTHERWISE. REMOVE ANY AND ALL DAMAGED OR DETERIORATED WOOD DECKING (APPROXIMATELY 25% OF EXISTING ROOF AREA, MAXIMUM) IN ITS ENTIRETY.
- REMOVE EXISTING CONSTRUCTION IN ITS ENTIRETY UNLESS NOTED OTHERWISE. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.
- REMOVE EXISTING COPING SYSTEM AND PARAPET CONSTRUCTION IN ITS ENTIRETY PER KEYNOTE NO. 1. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.
- DS** EXISTING DOWNSPOUT SYSTEM TO REMAIN, UNLESS NOTED OTHERWISE. PROTECT FROM DAMAGE DURING EXTENT OF WORK.

KEYNOTE:

(THIS SHEET ONLY)

- 1** EXISTING PREFINISHED METAL COPING SYSTEM TO REMAIN.
- 2 LINE OF EXISTING WALL, BELOW, TYPICAL, UNLESS NOTED OTHERWISE. SEE SHEET D-101.
- 3 REMOVE EXISTING ABANDONED CHIMNEY IN ITS ENTIRETY, INCLUDING ALL METAL AND MODIFIED BITUMINOUS FLASHINGS. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.
- 4 EXISTING CURB-MOUNTED EXHAUST FAN. TEMPORARILY REMOVE AND STORE FOR RE-INSTALLATION. PREP EXISTING CURB AND DUCTWORK TO BE EXTENDED. SEE MECHANICAL DOCUMENTS.
- 5 REMOVE EXISTING INSULATED PIPES AND WOOD SLEEPERS IN THEIR ENTIRETY. SEE MECHANICAL DOCUMENTS.
- 6 REMOVE EXISTING PRE-FINISHED METAL BASE FLASHING SYSTEM AND CURB IN THEIR ENTIRETY, ENTIRE LENGTH OF WALL. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.
- 7 REMOVE EXISTING WALL-MOUNTED ACCESS LADDER IN ITS ENTIRETY. PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.
- 8 EXISTING CURB-MOUNTED KITCHEN SUPPLY FAN. TEMPORARILY REMOVE AND STORE FOR RE-INSTALLATION. PREP EXISTING CURB AND DUCTWORK TO BE EXTENDED. SEE MECHANICAL DOCUMENTS.
- 9 TEMPORARILY REMOVE EXISTING DOWNSPOUT AND STORE FOR RE-INSTALLATION.
- 10 EXISTING WALL-MOUNTED ANTENNA TO REMAIN. PROTECT FROM DAMAGE DURING EXTENT OF WORK.
- 11 REMOVE EXISTING CURB-MOUNTED AIR INTAKE FAN. PREP EXISTING CURB AND DUCTWORK TO BE EXTENDED AND RECEIVE NEW DUCTWORK AND AIR INTAKE. SEE MECHANICAL DOCUMENTS. PROTECT EXISTING CURB TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.
- 12 EXISTING MODIFIED BITUMINOUS ROOFING SYSTEM TO REMAIN, TYPICAL. PROTECT FROM DAMAGE DURING EXTENT OF WORK.
- 13** REMOVE EXISTING ROOF DRAIN AND PREP EXISTING ROOF LEADER AND ROOF DECK FOR NEW ROOF DRAIN.
- 14 REMOVE EXISTING METAL DOWNSPOUT IN ITS ENTIRETY.
- 15 REMOVE EXISTING CONDUITS IN THEIR ENTIRETY. SEE MECHANICAL AND ELECTRICAL DOCUMENTS.
- 16 EXISTING PLUMBING VENT-THROUGH ROOF TO REMAIN. PROTECT FROM DAMAGE DURING EXTENT OF WORK. PREP TO RECEIVE EXTENSION AS REQUIRED TO PROVIDE MINIMUM FLASHING HEIGHT OF 8" ABOVE FINISH ROOF. TYPICAL.
- 17 EXISTING STANDING SEAM METAL CANOPY ROOF, GUTTER AND DOWNSPOUT TO REMAIN, TYPICAL. PROTECT FROM DAMAGE DURING EXTENT OF WORK.
- 18 NO WORK THIS AREA.
- 19 REMOVE EXISTING CURB-MOUNTED AIR HANDLING UNIT IN ITS ENTIRETY. PROTECT EXISTING ROOF SYSTEM, CURB AND ASSOCIATED FLASHINGS TO REMAIN, AND PREP TO RECEIVE NEW WEATHERTIGHT CAP. SEE SHEET A-103 AND MECHANICAL DOCUMENTS.
- 20 EXISTING ADJACENT HIGH ROOF WALL TO REMAIN, TYPICAL. PROTECT FROM DAMAGE DURING EXTENT OF WORK.
- 21** EXISTING METAL COPING SYSTEM TO REMAIN. PROTECT EXISTING PARAPET WALL TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.
- 22 CUT OUT AND REMOVE EXISTING EXTERIOR INSULATION AND FINISH SYSTEM AS REQUIRED TO INSTALL NEW TAPERED ROOF INSULATION AND ASSOCIATED COUNTERFLASHING SYSTEM, ENTIRE LENGTH OF WALL, TYPICAL. PROTECT REMAINING EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE DURING EXTENT OF WORK.

GENERAL NOTES:

1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF WORK.
2. REFER TO STRUCTURAL, FIRE SUPPRESSION, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF DEMOLITION WORK.
3. PATCH/REPAIR ALL THRU-WALL (EXTERIOR & INTERIOR) PENETRATIONS, AS REQUIRED. PREP SURFACE TO RECEIVE NEW FINISH (TYPICAL).
4. CONTRACTOR TO REPLACE OR REPAIR ALL DAMAGED FINISHES TO MATCH EXISTING.

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100% DESIGN SUBMITTAL

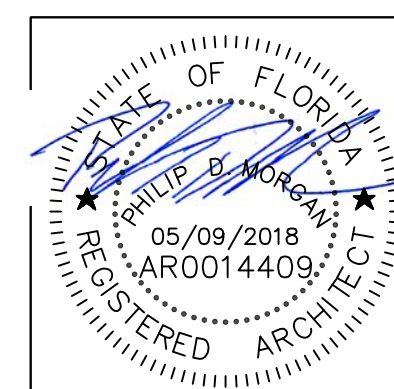
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PROJECT NORTH

PARTIAL ROOF PLAN- DEMOLITION

SCALE: 3/8"=1'-0"

GRAPHIC SCALE



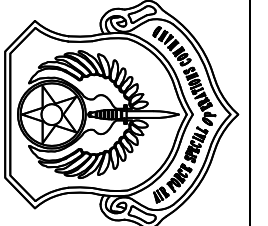
REV #	DATE	DESCRIPTION
1	8/17/18	CORRECTION

**RENOVATE COMMUNITY COMMONS
BUILDING 90337**

PARTIAL ROOF PLAN - DEMOLITION

**AIR FORCE SPECIAL
OPERATIONS COMMAND**

1 SPECIAL OPERATIONS CIVIL ENGINEER SQUADRON
HURLBURT FIELD, FLORIDA



DATE:
9 MAY 2018

DESIGNED BY:
PDM

DRAWN BY:
JE FULLER

BUILDING NUMBER:
90337

PROJECT NUMBER:
CP1018486

SHEET REFERENCE:

D-102

SHEET NUMBER:
5 of 82