

Addendum Date: September 25, 2025

CITY OF PENSACOLA, FLORIDA
ADDENDUM #1

**SOUTH PALAFOX PEDESTRIAN IMPROVEMENTS:
GARDEN STREET TO MAIN STREET**

Bid No. 25-045

The following items take precedence over the documents for the item named above. All other terms and conditions shall remain the same.

A SIGNED COPY OF THIS PAGE MUST BE RETURNED WITH YOUR SUBMITTAL AS ACKNOWLEDGEMENT OF RECEIPT OF ADDENDUM.

Company:_____ Date:_____

Authorized
Representative:_____ Title:_____
Printed Name

Signature:_____

1. No further questions will be accepted.

ATTACHMENTS

- Revised Instructions to Bidders
- Revised Scope of Work
- Revised Bid Quantity Sheets
- Attached Tierra Geotechnical Investigation.
- Revised with cloud sheets C-103, C-123, C-133

QUESTIONS AND ANSWERS

- Question: Are there any plans to relocate the water line around the pipe run from D5 to D-7?
 - Response: Sheet C-103 and the bid tabulation for 12" Water Relocate has been increased to 374 feet of relocation of 12" WM.

- Question: Are there any utility conflict concerns with the proposed pipe bollard footings?
 - Response: Utility conflicts have been shown to the greatest extent possible. The contractor does have some latitude in avoiding bollard conflicts on a case by case basis with direction from the engineer.
- Question: Can the engineer provide existing invert elevations on the sewer system?
 - Response: Sanitary Sewer inverts are not available.
- Question: It appears the two trees at STA 8+50 will conflict with the proposed storm drain. It is the intent to remove the trees in conflict?
 - Response: The intent is to keep the trees. The curb will extend approximately 2.5 feet into the roadway. The new 14x23 ERCP will follow the new curb. If during construction it is determined that the root structure will be compromised the engineer will explore the possibility of shifting D5 and D6 outside of the critical root zone.
- Question: Will the Buried Electric crossing the proposed storm drain at structures D9 & D12 be above or below the proposed storm drain?
 - Response: The exact location of the buried electrical is unknown.
- Question: Are there any plans to relocate the water lines conflicting with the proposed pipe bollard footings? Specifically, the 12" DI Line @ Garden, 4" DI line on Romana St, 6" CI line on Intendencia St, Water main @ Government Street, Waterline @ Zarragossa St.
 - Response: Utility conflicts have been shown to the greatest extent possible. The contractor does have some latitude in avoiding bollard conflicts on a case-by-case basis with direction from the engineer.
- Question: Are there any as-built drawings of the existing FPL Vaults that can be provided?
 - Response: The design team and city staff were unable to locate any as-built drawings of the existing FPL Vaults.
- Question: Can the engineer provide a detail for the FPL Vault top replacements?
 - Response: The contractor should anticipate engaging with a structural engineer to design the replacement tops.

- Question: Please provide a detail for the roadway reconstruction above the new 12" FPL Vault Top Slab.
 - Response: See Petromat sheets and specification in the plan set.
- Question: Will we be able to completely close the roadways to vehicular traffic in each phase?
 - Response: Yes, as you move through each phase, vehicular traffic can be prevented from accessing that individual phase. As such, a phased MOT plan shall be planned for.
- Question: Are there any excavation limitations requirements on the project due to any archaeological findings?
 - Response: Excavation limitations will be determined by the City's onsite archeological expert. This individual will be coordinated with, in advance of excavation activities, to guide the contractor to ensure we're following the archeological guidelines provided in the project manual.
- Question: Will the Electrical vaults be energized while we are making modifications to the structures?
 - Response: The contractor shall coordinate work on utility vaults directly with FPL. See utility notes.
- Question: What safety protocols and coordination requirements are expected when saw cutting concrete vaults that contain electrical conduit?
 - Response: The contractor shall coordinate work on utility vaults directly with FPL. See utility notes.
- Question: Please provide a copy of the geotechnical report for this project.
 - Response: The geotechnical report has been included.
- Question: Is Bid Alternate one, Bid Item # 1 "Deduct Entirety of Base Bid Items" necessary? Our understanding is bid alternate one is an alternate to the base bid, deducting the entire base bid on this single line item will result in a misleading total for Bid Alternate # 1
 - Response: We understand how this can be misleading. However, the City cannot award a bid alternate without first awarding the Base Bid. As such, if the City elects to award bid alternate #1, we'll have to deduct the entirety of the base bid from the contract. So, the deduct line item is included for this purpose.

- Question: The allowance values were not added to the bid schedule for the wayfinding signs
 - Response: The \$100,000 allowance has been added to the wayfinding
- Question: Please confirm the total 15" RCP needed for the project, plans show 942 LF, but the pay item is only 650 LF
 - Response: The bid tabulation has been updated to say 891 LF of 15" RCP
- Question: It appears the proposed roadway will be narrower than the existing roadway. If we are to saw-cut the existing roadway and remove the existing curb and full-depth asphalt to allow construction of the proposed curb, how should we reconstruct the roadway base under the proposed curb?
 - Response: Base material where required will need to meet and LBR of 40. See geotechnical report for core samples taken.
- Informational Item: The bid tab has been corrected to align with the roof drain extension note that all roof drain extensions shall be ductile iron instead of PVC.
- Question: Please confirm total contract time:
 - Base Bid, the final completion date is November 25, 2026 (Non-Incentive)
 - Response: Correct
 - Bid Alternate 1, Final Completion is January 20, 2027 (Non-Incentive)
 - Response: Correct
 - Bid Alternate 2, Phase H – Is there any additional contract time for this alternate?
 - Response: The Scope of Work and Instructions to Bidders have been revised, and attached, to reflect the allowable duration of Bid Alternate #2's work
 - Bid Alternate 3, Bollard Installation – Is there any additional contract time for this alternate?
 - Response: The Scope of Work and Instructions to Bidders have been revised, and attached, to reflect the allowable duration of Bid Alternate #3's work

INSTRUCTIONS TO BIDDERS

1. AWARD OF CONTRACT

- A. The contract will be awarded as soon as practicable to the lowest responsible bidder, price and other factors considered, provided their bid is reasonable and it is to the interest of the City to accept it.
- B. The City reserves the right to waive any informality in bids received when such waiver is in the interest of the City. In case of error in the extension of prices, the unit price will govern.
- C. The City further reserves the right to accept or reject any or all items of any bid, unless the bidder qualifies such bid by specific limitations; also to make an award to the bidder whose aggregate bid on any combination of bid items is low.

2. BID OPENING

At the time fixed for the opening of bids, their contents will be made public for the information of bidders and others properly interested.

3. BIDDERS INTERESTED IN MORE THAN ONE BID

If more than one bid is offered by any one party, by or in the name of their clerk, partner, or other person, all such bids will be rejected. A party who has quoted prices to a bidder is not thereby disqualified from quoting prices to other bidders or from submitting a bid directly for the work.

4. BIDDER'S QUALIFICATIONS

Before a bid is considered for award, the bidder may be requested by the City to submit a statement of facts in detail as to his previous experience in performing similar or comparable work, and of his business and technical organization and financial resources and plants available to be used in performing the contemplated work. A minimum of 5 qualifying project references may be required from previous or current project owners. These references shall be specific to the prime contractor's experience; experience of the subcontractor cannot be substituted should the prime contractor fail to meet the requirements of this section. These references shall be from specific projects of similar size and scope. At least 3 of the 5 shall be from another government municipality, especially if the bidder has not contracted with the City on projects of a same/similar nature within the previous five (5) years of the bid date. No references will be considered in which the bidder worked under a different company name or in which the bidder worked as a subcontractor to a prime contractor. The City

reserves the express right to not award a contract to a bidder if the provided references do not reveal that the contractor has ample/adequate experience beyond a reasonable doubt to complete the project according to the plans and specifications and within the time frame stipulated.

5. COMMENCEMENT

The bidder further proposes and agrees hereby to commence the work with an adequate force and equipment within **(10)** consecutive calendar days after being notified by the City of Pensacola to do so.

6. PROJECT COMPLETION, PHASING, AND SCHEDULE

The contractor shall perform all work and testing in accordance with the approved phasing plan and required phasing schedule outlined below. Strict adherence to these timelines is required, and any deviation may result in applicable penalties. To meet the incentivized completion dates, the contractor is authorized to work 24 hours per day, 7 days per week, including holidays. It is the contractor's responsibility to plan and staff accordingly to maintain continuous progress and meet the project milestones.

The contractor is also responsible for the proper installation and maintenance of temporary construction fencing. For the efforts associated with the entire duration of all phases and bid alternates, the entire work area must be fully enclosed with fencing to ensure public safety and allow for unimpeded pedestrian access to all portions of S. Palafox. Additionally, the contractor must implement measures to maintain safe and accessible east-west pedestrian crossings at each intersection during all phases of work.

Upon completing Phases A through D, the contractor shall relocate the fencing to encompass Phases E and F before commencing work in those areas. The same fencing relocation procedure applies to the transition from Phases E–F to Phases G–I. The contractor must ensure fencing placement supports pedestrian walkability and public safety at all times.

Should the City elect to move forward with bid alternates, the same level of construction fencing shall be installed and relocated as necessary to accommodate phasing, and pedestrian accessibility, and pedestrian safety.

To support effective communication with the public, the City of Pensacola will hire a dedicated Marketing and Public Engagement Coordinator. This staffer will work, independent from the construction team, to provide timely updates about fence relocations, changes to pedestrian access, and business accessibility throughout all project phases. The contractor shall coordinate closely with this individual to minimize disruption and confusion for businesses, residents, and visitors.

Finally, while it will not be used as a determining factor in the award of bid, as part of the bid package, the contractor must submit a detailed project schedule to the City. This schedule should follow with the below required phasing schedule and outline weekly task milestones based on the project timeline described below and include plans for the contractor to attend weekly onsite project update meetings. Prior to execution of the contract, the contract shall reconfirm they will strictly adhere to their submittal project phasing schedule/milestones.

Base Bid = Required Phasing Schedule:

1. Phase A through Phase D:

- Incentivized Completion Date: May 24, 2026
- Incentive for Completion by this Date: 10% of total bid amount – note this incentivized completion date is hard and fast and regardless of holidays, natural disasters, City-created delays, weather conditions, or unforeseen conditions
- Second Incentivized Completion Date: June 13, 2026
- Incentive for Completion by this Date: 5% of total bid amount – note this incentivized completion date is hard and fast and regardless of holidays, natural disasters, City-created delays, weather conditions, or unforeseen conditions
- Non-Incentivized Allowable Completion Date: July 3, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

2. Phase E through Phase F:

- Non-Incentivized Allowable Completion Date: September 3, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

3. Phase G and Phase I:

- Non-Incentivized Allowable Completion Date: November 25, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Bid Alternate #1 = Modified Phasing Schedule:

Phase A through Phase B

- Incentivized Completion Date: April 2, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Phase C through Phase D

- Incentivized Completion Date: August 23, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Phase E through Phase F

- Non-Incentivized Allowable Completion Date: November 6, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Phase G and Phase I

- Non-Incentivized Allowable Completion Date: January 20, 2027
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Bid Alternate #2 = Complete all tasks associated with Phase H of the plans

- Non-Incentivized Allowable Completion Duration for Bid Alt #2: 45 calendar days
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Bid Alternate #3 = Complete all tasks associated with bollard installation

- Non-Incentivized Allowable Completion Duration for Bid Alt #2: 90 calendar days
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

7. CONDITIONS AT SITE OF WORK

Bidders shall be responsible to visit the site to ascertain pertinent local conditions readily determined by inspection and inquiry, such as the location, and general character of the site, labor conditions, the character and extent of existing work within or adjacent thereto, and any other work being performed thereon.

8. DECLARATIONS

The bidder hereby declares that the only person or persons interested in the Bid as principal or principals is or are named herein and that no other person than herein mentioned has any interest in this Bid or in the Contract to be entered into; that this Bid is made without connection with any other person, company or parties making

a bid or proposal; and that it is in all respect fair and in good faith without collusion or fraud.

The bidder further declares that he has examined the site of the work and has informed himself fully in regard to all conditions pertaining to the place where the work is to be done; that he has examined the plans and specifications for the work and the contractual documents relative thereto, including the Advertisement, Bid Form, Form of Contract, General Conditions, and all specific conditions; and that he has satisfied himself relative to the work to be performed.

The bidder proposes and agrees, if this Bid is accepted, that it will not discriminate on the basis of race, creed, color, national origin, sex, age or disability and to contract with the City of Pensacola in the form of contract specified, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation, and labor necessary to complete the project.

9. LICENSING REQUIREMENT

Each bidder shall possess at the time of submitting its bid all licenses, registration and certificates necessary to engage in the business of contracting (or special contracting if the work to be performed necessitates a particular type of specialty contractor) in the

City of Pensacola. Bidder must also possess all licenses, registrations and certificates necessary to comply with federal, state and local laws and regulations. The awarded bidder shall be registered at the time of contract execution as an active vendor with the Florida Department of State, Division of Corporations (www.sunbiz.org).

Without limiting the foregoing, bidder for the project shall hold one or more of the following licenses in order to submit a bid and have qualifying experience relative to the subject project.

- A. Florida Licensed General Contractor
- B. Florida Licensed Underground Utilities Contractor

10. LIEN RELEASE AND AFFIDAVIT

Each Application for Payment shall be accompanied by a Lien Release and Affidavit from each **subcontractor** and each **supplier** showing that all materials, labor, equipment and other bills associated with that portion of the work in which payment is being requested for have been paid in full. The City shall not be required to make payment until and unless these affidavits are furnished by the Contractor.

11. PENALTIES

The bidder further agrees that in case of failure on his part to execute the said Contract and Bond within **(10)** calendar days after written notice being given of the award of the Contract, the check or bid bond accompanying this bid, and the monies payable thereon, shall be paid into the funds of the City of Pensacola as liquidated damages for such failure; otherwise, the check or bid bond accompanying the Bid shall be returned to the undersigned.

12. PREPARATION OF BIDS

- A. Bids shall be submitted on the forms furnished or copies thereof, and must be manually signed. If erasures or other changes appear on the forms, each such erasure or change must be initialed by the person signing the bid.
- B. The form of bid will provide for quotation of a price, or prices, for one or more items which may be lump sum bids, alternate prices, scheduled items resulting in a bid on a unit of construction or a combination thereof. Where required on the bid form, bidders must quote on all items and they are warned that failure to do so may disqualify the bid. When quotations on all items are not required, bidders should insert the words "no bid" in the space provided for any item on which no quotation is made.

13. RECEIPT AND OPENING OF BIDS

- A. No responsibility will attach to any City employee for the premature opening of, or the failure to open, a bid not properly addressed and identified.

14. REJECTION OF BIDS

The City reserves the right to reject any and all bids when such rejection is in the interest of the City; to reject the bid of a bidder who has previously failed to perform properly or complete on time contracts of a similar nature; and to reject the bid of a bidder who is not, in the opinion of the Engineer, in a position to perform the contract.

15. SPECIAL CONDITIONS

- A. **Public Entity Crimes** - Any person or affiliate who has been placed on the convicted vendor list following a conviction for a public entity crime may not submit a bid on a contract to provide any goods or services to a public entity, may not submit a bid on a contract with a public entity for the construction or repair of a public building or public work, may not submit bids on leases of real property to a public entity, may not be awarded or perform work as a contractor, supplier, subcontractor, or consultant under a contract with any public entity, and may not transact business

with any public entity in excess of the threshold amount provided in Section 287.017, for CATEGORY TWO for a period of 36 months from the date of being placed on the convicted vendor list.

- B. All bidders are advised that compliance with The Occupational Safety and Health Administration Excavation Safety Standards, 29 C.F.R.s 1926.650-652 of Sub part P will be required.
- C. The Contractor agrees that it will not discriminate on the basis of race, creed, color, national origin, sex, age or disability.
- D. Florida State Statute 93.240 under section 556.101 through 556.111 requires that all excavators notify gas companies of their intention to perform any excavation at least forty- eight (48) hours (excluding Saturday, Sundays and holidays) prior to beginning work. If excavating, digging, boring, tunneling, blasting or otherwise disturbing the earth in any manner where a buried gas line may be damaged is proposed, please call the toll free number 1-800-432-4770 between the hours of 6:30 a.m. and 4:00 p.m. CST Monday through Friday, forty-eight (48) hours before starting the proposed work, (weekends and holidays excluded). Contractor shall notify all utility companies to locate and mark all utility facilities forty-eight (48) hours before starting any excavation.
- E. The general contractor will submit a maintenance traffic plan which will satisfy the traffic conditions outlined in the general notes.
- F. The general contractor shall post the construction site with "NO TRESPASSING" signs, to prevent amateur archaeologists from entering the site without authorization.

Scope of Work for Contractor
South Palafox Street Pedestrian Improvements Project-
City of Pensacola, Florida
Prepared by: Baskerville-Donovan, Inc. (Prime Civil
Engineer) Sub-Consultant: Jerry Pate Design
(Landscape Architect) Date: April 11, 2025

1. Project Overview

The South Palafox Street Pedestrian Improvements Project aims to enhance pedestrian and vehicular circulation in downtown Pensacola, Florida, along South Palafox Street and adjacent areas, while incorporating additional pedestrian safety upgrades. The project focuses on improving the pedestrian experience through thoughtful landscape architecture and engineering services. The design areas include:

- South Palafox Street: From south of Garden Street to north of Main Street.
- Romana Street: Between Baylen Street and Jefferson Street.
- Intendencia Street: Between Baylen Street and Jefferson Street.
- Government Street: Between Baylen Street and Jefferson Street.
- Intersections: South Palafox Street at Garden Street and South Palafox Street at Main Street.
- Additional Areas for Bollard Placement: Along Zarragossa and Garden Streets, as identified in coordination with City staff and the Pensacola Police Department.

The contractor will execute the construction based on the Release for Construction (RFC) set prepared by Baskerville-Donovan, Inc. (BDI) and Jerry Pate Design (JPD). The RFC set is organized into phases (A through I), with each phase representing a miniature plan set covering a block-to-block segment. This structure provides the contractor flexibility to begin and end work in distinct phases, minimizing disruption to the surrounding area. The contractor must ensure compliance with the City of Pensacola codes, Florida Department of Transportation (FDOT) standards, and the project's conceptual design.

2. Roles and Responsibilities

- Baskerville-Donovan, Inc. (BDI): As the prime civil engineer, BDI is responsible for overall project management, civil engineering design (roads, drainage, signage, pavement markings, bollard layouts), surveying, permitting, value engineering, and coordination with the City of Pensacola, FDOT, and the Pensacola Police Department.
- Jerry Pate Design (JPD): As the sub-consultant landscape architect, JPD is responsible for landscape and hardscape design, including plantings, irrigation, ballast stone planter walls, street furniture, and compliance with City of Pensacola codes.
- Contractor: The contractor will execute the construction work as per the RFC set, coordinating with BDI and JPD for clarifications, submittals, and inspections. The contractor is also responsible for developing and implementing a robust Maintenance of Traffic (MOT) plan and coordinating with local business owners

to minimize disruption during construction.

3. Scope of Work for Contractor

The contractor shall perform the following tasks in accordance with the RFC set, specifications, and permits provided by BDI and JPD. The plan set is organized into phases (A through I), with each phase representing a block-to-block segment, allowing the contractor to work in a phased approach to minimize disruption.

3.1 General Requirements

- Basis of Work: All construction activities shall be based on the Release for Construction (RFC) set.
- Phased Construction:
 - The RFC set is divided into phases (A through I), with each phase representing a miniature plan set for a specific block-to-block segment.
 - The contractor has the flexibility to begin and end work in distinct phases, ensuring minimal disruption to adjacent areas.
- Compliance: Adhere to all City of Pensacola codes, FDOT standards, and project-specific requirements.
- Permits: Work within the boundaries of permits obtained by BDI, including FDOT permits for roadway, landscaping, and bollard installations within state rights-of-way (e.g., Garden Street).
- Schedule: Propose a construction schedule upon award, aligning with the phased approach and the City of Pensacola's expectations. Note that FDOT permitting may take at least 120 days, which could impact the construction timeline.
- Coordination:
 - Attend pre-construction meetings, progress meetings, and coordinate with BDI, JPD, the City of Pensacola, the Pensacola Police Department, and utility providers as needed.
 - Business Owner Coordination: Actively engage with local business owners along South Palafox Street, Zarragossa Street, Garden Street, and adjacent areas to minimize disruption during construction. Provide regular updates on construction schedules, access changes, and MOT plans to ensure business operations are maintained as much as possible.
- Submittals: Submit shop drawings, material samples, and other required documentation to BDI for review and approval prior to construction.
- Safety: Implement safety programs and precautions during construction, ensuring compliance with all applicable regulations.

3.2 Maintenance of Traffic (MOT)

- MOT Plan Development:
 - Develop a comprehensive Maintenance of Traffic (MOT) plan for each phase of construction, ensuring safe and efficient traffic flow for vehicles and pedestrians throughout the project area.
 - The MOT plan must account for the block-to-block phased approach, minimizing disruption to traffic along South Palafox Street, Zarragossa Street, Garden Street, and adjacent streets.

- Implementation:
 - Install temporary signage, barriers, and detours as needed to maintain traffic flow and pedestrian access.
 - Ensure MOT measures comply with FDOT and City of Pensacola standards.
 - Coordinate MOT activities with the Pensacola Police Department and local business owners to address safety concerns and maintain access to businesses.
- Monitoring:
 - Regularly monitor and adjust the MOT plan as construction progresses through each phase, addressing any unforeseen issues promptly.
 - Provide weekly MOT updates during progress meetings with BDI and the City of Pensacola.

3.3 Demolition and Site Preparation

- Demolition:
 - Remove existing pavement, curbs, and other features as indicated in the demolition plans within the RFC set for each phase.
 - Remove raised crosswalks as part of the value engineering efforts, as identified in the RFC set.
- Site Clearing:
 - Clear and grub the project area for each phase, including removal of any vegetation or obstacles not designated for preservation.
- Tree Protection:
 - Protect existing trees identified in the survey (provided by BDI) as per City of Pensacola codes, including protected species.
- Utility Investigations:
 - Account for Subsurface Utility Engineering (SUE) investigations conducted by BDI along Zarragossa and Garden Streets to identify utility elevations and conflicts at proposed bollard installation sites.
 - Report any unforeseen subsurface utility conflicts to BDI immediately for resolution (note: design modifications due to utility conflicts will be addressed separately).

3.4 Roadway and Drainage Improvements (Led by BDI)

- Roadway Modifications:
 - Modify road and curb elevations along South Palafox Street, Romana Street, Intendencia Street, Government Street, Zarragossa Street, and at the intersections of South Palafox Street with Garden Street and Main Street, as per the RFC set.
 - Adjust pavement cross slopes to improve drainage while maintaining existing FPL utility boxes in place, incorporating value engineering outcomes such as the removal of raised crosswalks.
 - Construct new curb layouts, ADA ramps, and crosswalks as specified, ensuring paver installations remain within the limits defined in the RFC set (no expansion of paver installations beyond these limits).
- Intersections:
 - Install paver hardscape at intersections as designed by JPD, following the “pavers to remain” study outcomes from the value engineering

efforts.

- Drainage:
 - Modify the existing underground drainage system based on surveyed pipe sizes, inverts, and drainage sub-basins, incorporating stormwater analysis of critical areas conducted during value engineering.
 - Adjust the drainage collection system to accommodate the Phase 1 concept, ensuring effective flow rates and road cross sections for drainage.
- Signage and Pavement Markings:
 - Install signage and pavement markings as per the RFC set, ensuring compliance with FDOT and City standards.

3.5 Pedestrian Safety Upgrades (Bollard Installation)

- Bollard Placement:
 - Install bollards at key locations along Zarragossa and Garden Streets, as identified in the RFC set and coordinated with City staff and the Pensacola Police Department.
 - Bollard placement is included in Phases E, F, G, H, and I of the RFC set, with expanded sheets providing detailed layouts for accurate siting and installation.
 - Ensure bollard installations align with the supplemental survey and SUE investigations conducted by BDI to avoid utility conflicts.
- FDOT Permitting for Bollards:
 - Work within the boundaries of FDOT permits obtained by BDI for bollard installations on Garden Street.

3.6 Landscape and Hardscape Improvements (Led by JPD)

- Landscape Plantings:
 - Install plantings as specified in JPD's landscape plans within the RFC set, including location, species, and size, in compliance with City of Pensacola codes.
 - Ensure proper planting techniques and maintenance during the establishment period.
- Irrigation System:
 - Install irrigation systems as per JPD's plans, including individual head placement, drip irrigation, pipe sizing, control system layout, and features.
 - Follow JPD's specifications for water source requirements, valve schedules, and critical analysis of the irrigation system.
- Hardscape Features:
 - Construct (9) ballast stone planter walls at intersections, ensuring compliance with design vehicle constraints and incorporating value engineering analysis by BDI.
 - Install street furniture, litter receptacles, bike racks, and "Palafox Planters" as specified in JPD's conceptual design
 - Install paver hardscape at intersections, crosswalks, and other designated areas, adhering to the "pavers to remain" study outcomes.
- Compliance:

- Ensure all landscape and hardscape elements meet City of Pensacola codes and ordinances.

3.7 Permitting and Coordination

- FDOT Permitting:
 - Work within the boundaries of FDOT permits obtained by BDI for roadway, landscaping, and bollard installations, particularly at the intersections of South Palafox Street with Garden Street and Main Street, and along Garden Street for bollards.
- Utility Coordination:
 - Coordinate with utility providers (notified by BDI) to ensure no conflicts with existing utilities, including FPL utility boxes, and account for SUE investigations at bollard sites.
- City Coordination:
 - Address any City of Pensacola review comments incorporated into the RFC set.

3.8 Construction Administration Support

- Requests for Additional Information (RAI):
 - Respond to RAIs during bidding and construction, providing clarifications as needed.
- Change Orders:
 - Consult with BDI on any change order requests, providing necessary documentation and justification.
- Progress Meetings:
 - Attend progress meetings with BDI, JPD, and the City of Pensacola to report on construction status, MOT updates, and coordination with business owners.
- Punch List:
 - Address items identified in the punch list prepared by BDI after construction activities.
- As-Built:
 - Provide as-built drawings to BDI for the preparation of record drawings and close-out documents.

4. Exclusions

The following items are not included in the contractor's scope of work:

- Permit fees and impact fees.
 - Site lighting plans.
 - Phase 1 and 2 Environmental Assessments (EA).
 - Traffic studies and traffic signalization.
 - Geotechnical investigations.
 - Third-party cost estimates.
 - Expansion of paver installations beyond the limits defined in the RFC set.
 - Design modifications due to unforeseen subsurface utility conflicts (to be addressed separately).
-

5. PROJECT COMPLETION, PHASING, AND SCHEDULE

The contractor shall perform all work and testing in accordance with the approved phasing plan and associated schedule outlined below. Strict adherence to these timelines is required, and any deviation may result in applicable penalties. To meet the incentivized completion dates, the contractor is authorized to work 24 hours per day, 7 days per week, including holidays. It is the contractor's responsibility to plan and staff accordingly to maintain continuous progress and meet the project milestones.

The contractor is also responsible for the proper installation and maintenance of temporary construction fencing. For the efforts associated with the bas bid, from the start of Phase A through the completion of Phase D, the entire work area must be fully enclosed with fencing to ensure public safety and allow for unimpeded pedestrian access to all portions of S. Palafox. Additionally, the contractor must implement measures to maintain safe and accessible east-west pedestrian crossings at each intersection during all phases of work.

Upon completing Phases A through D, the contractor shall relocate the fencing to encompass Phases E and F before commencing work in those areas. The same procedure applies to the transition from Phases E–F to Phases G–I. The contractor must ensure fencing placement supports pedestrian walkability and public safety at all times.

Should the City elect to move forward with bid alternates, the same level of construction fencing shall be installed and relocated as necessary to accommodate phasing, and pedestrian accessibility, and pedestrian safety.

To support effective communication with the public, the City of Pensacola will hire a dedicated Marketing and Public Engagement Coordinator. This staffer will work, independent from the construction team, to provide timely updates about fence relocations, changes to pedestrian access, and business accessibility throughout all project phases. The contractor shall coordinate closely with this individual to minimize disruption and confusion for businesses, residents, and visitors.

Finally, while it will not be used as a determining factor in the award of bid, as part of the bid package, the contractor must submit a detailed project schedule to the City. This schedule should follow with the below required phasing schedule and outline weekly task milestones based on the project timeline described below and include plans for the contractor to attend project update meetings. Prior to execution of the contract, the contractor shall reconfirm they will stick to their submittal project schedule/milestones.

Base Bid = Required Phasing Schedule:

Phase A through Phase D

- Incentivized Completion Date: May 24, 2026
- Incentive for Completion by this Date: \$1,000,000 – note this incentivized completion date is hard and fast and regardless of weather conditions/delays
- Non-Incentivized Allowable Completion Date: July 3, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Phase E through Phase F

- Non-Incentivized Allowable Completion Date: September 3, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Phase G and Phase I

- Non-Incentivized Allowable Completion Date: November 25, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Bid Alternate #1 = Modified Phasing Schedule:

Phase A through Phase B

- Incentivized Completion Date: April 2, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Phase C through Phase D

- Incentivized Completion Date: August 23, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Phase E through Phase F

- Non-Incentivized Allowable Completion Date: November 6, 2026
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Phase G and Phase I

- Non-Incentivized Allowable Completion Date: January 20, 2027
- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Bid Alternate #2 = Complete all tasks associated with Phase H of the plans

- Non-Incentivized Allowable Completion Duration for Bid Alt #2: 45 calendar days

- Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000

Bid Alternate #3 = Complete all tasks associated with bollard installation

- Non-Incentivized Allowable Completion Duration for Bid Alt #2: 90 calendar days
 - Liquidated Damage Penalty per Day Over Allowable Completion Date: \$1,000
-

6. Project Schedule

The contractor shall propose a construction schedule upon award, aligning with the phased approach (Phases A through I) and the City of Pensacola's expectations. The RFC set is the basis for construction, with design milestones already completed:

- FDOT Permitting: Permitting through FDOT may take at least 120 days, which may impact the construction start date.

The contractor shall schedule construction activities to align with the block-to-block phased approach, ensuring minimal disruption to traffic and businesses.

7. Allowance for Design and Installation of Banners, Wayfinding Signage, Fence Screen Renderings

The bid tab depicts a \$100,000 allowance for the contractor to design and install promotional signage, renderings, and wayfinding signs throughout the limits of the project. Contractor shall work with the City and the City's Marketing and Public Engagement Coordinator to create signage and wind screening for the construction fencing that will serve the purpose of wayfinding and providing businesses a means of their patrons seeing the "finished product" of this project. The contractor and the City's Marketing and Public Engagement Coordinator will work together to get this accomplished and the contractor will submit receipts depicting proof of purchase and a cost for the contractor to install and/or relocate signage through the various phases of the project.

8. Bid Alternates

The contractor shall note that this project includes three bid alternates. These alternates are captured in individual sections within the bid tab and are described as follows:

- Bid Alternate #1 = Modified Phasing Schedule = Contractor shall submit a bid alternate price to fully complete all tasks and work items associated with Phase A and Phase B. Then, the contractor shall fully complete all tasks and work items associated with Phase C and Phase D. Then, the contractor shall complete work on all side streets. The required completion for this bid alternate arrangement is described in the Instructions to Bidders portion of this bid package.
 - Bid Alternate #2 = Contractor shall submit a bid alternate price to fully complete all tasks and work items associated with Phase H.
 - Bid Alternate #3 = Contractor shall submit a bid alternate price to fully complete all tasks and work items associated with the installation of bollards
-

9. Deliverables

The contractor shall provide the following deliverables to BDI:

- MOT Plan: Submit a detailed MOT plan for each phase prior to construction, with updates as needed.
 - Shop Drawings: Submit shop drawings for all materials and systems (e.g., drainage, hardscape, irrigation, bollards) for approval prior to installation.
 - Material Samples: Provide samples of pavers, ballast stone, bollards, street furniture, and other hardscape elements for approval.
 - Progress Reports: Submit monthly progress reports during construction, including an updated construction schedule, MOT updates, and business owner coordination logs.
 - As-Built Drawings: Provide as-built drawings at the completion of construction for BDI to prepare record drawings.
 - Close-Out Documents: Submit any required close-out documents, including warranties, certifications, and maintenance manuals.
-

10. Budget and Compensation

The contractor shall submit a detailed bid for construction, including labor, materials, equipment, MOT implementation, and overhead, based on the RFC set and specifications.

11. Coordination and Communication

- Primary Contact (BDI): Mr. Jason Frick, P.E., Project Manager, Baskerville-Donovan, Inc., 449 W. Main Street, Pensacola, FL 32502, (850) 438-9661.
 - Landscape Architect (JPD): Mr. Steve Dana, Sr. Landscape Architect, Jerry Pate Design, 301 Schubert Drive, Pensacola, FL 32504, (850) 479-4653.
 - City of Pensacola: Brad Hinote, P.E., City Engineer, 222 W. Main Street, Pensacola, FL 32502, (850) 435-1685.
 - Business Owner Coordination: The contractor shall refrain from interaction with property owners. Instead, they shall designate a point of contact to liaise with the City's Marketing and Public Engagement Coordinator in order to establish and maintain regular communication and updates on construction activities, MOT plans, and access changes.
-

The contractor shall coordinate all activities through BDI, with JPD providing support for landscape and hardscape-related items.

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

COMPANY NAME: _____

No	Category	Qty	Units	Unit Price	Total Cost
1	Mobilization and Demobilization	1	LS		
2	Erosion Control* (incl. silt fence, outlet protection, haybales, sand bags, turbidity barrier, by-pass piping, by-pass pumping, etc.)	1	LS		
3	Maintenance of Traffic (FDOT Standards)	1	LS		
4	Utility Coordination/Relocation	1	LS		
5	Remove Asphalt	1,402	SY		
6	Remove Concrete Curb	6,253	LF		
7	Remove Miscellaneous Concrete (Including Curb Ramps)	1,425	LF		
8	Remove Brick Crosswalk	650	SF		
9	Remove Drainage Structure	18	EA		
10	Remove Valley Gutter	1,200	LF		
11	Remove Type F Modified Curb and Gutter	7000	LF		
12	Saw Cut and Remove Top of Vault Structure	75	CY		
13	Route 12" Watermain Around Drainage Structure, to include all Fittings and Testing	374	LF		
14	Route 10" Watermain Around Drainage Structure, to Include all Fittings and Testing	400	LF		
15	Furnish and Install 12" Top Concrete Slab	45	CY		
16	Adjust/Raise Water Valve to Grade	49	EA		
17	Adjust Drainage Manhole to Grade	13	EA		
18	Adjust Parking Meter	4	EA		
19	Adjust Electrical Manhole to Grade	33	EA		
20	Adjust Communications Manhole to Grade	12	EA		
21	Adjust Sanitary Sewer Manhole to Grade	19	EA		
22	Replace Drainage Structure	1	EA		

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

COMPANY NAME: _____

No	Category	Qty	Units	Unit Price	Total Cost
23	Relocate Light Pole	4	EA		
24	Furnish and Install Junction Box	18	EA		
25	Furnish and Install Type 5 Curb Inlet, <10'	11	EA		
26	Furnish and Install Type 6 Curb Inlet	12	EA		
27	Furnish and Install Type C Ditch Bottom Inlet <10'	6	EA		
28	Furnish and Install 15" RCP	891	LF		
29	Furnish and Install 18" RCP	350	LF		
30	Furnish and Install 2"PVC from Roof Drains to Face of Curb	100	LF		
31	Furnish and Install 3"PVC from Roof Drains to Face of Curb	1	LF		
32	Furnish and Install 4"PVC from Roof Drains to Face of Curb	350	LF		
33	Furnish and Install Roof Drain Aluminum Curb Face Fitting (Curb-o-let) with Pipe	25	EA		
34	Furnish and Install 12"x18" ERCP	150	LF		
35	Furnish and Install 14"x23" ERCP	450	LF		
36	Furnish and Install Riser with Ring and Cover	23	EA		
37	Furnish and Install Petromat	5,000	SY		
38	Type F Curb and Gutter	5,754	LF		
39	3' Valley Gutter	800	LF		
40	Plug/Grout East Pipe Invert	6.5	CY		
41	Raise Roof Drain Sump to Finished Grade	1	EA		
42	Milling Existing Asphalt Paving SP-12.5 1.5"-3" Depth	6,300	SY		
43	Milling Existing Asphalt Paving SP-12.5 3"-6" Depth	8,000	SY		
44	Milling Existing Concrete Paving	2,500	SY		
45	1-1/2" Asphalt Overlay	14,300	SY		
46	6" Concrete Slab (Including Welded Wire Fabric)	645	CY		
47	8' Concrete Tray (Underneath Pedestrian and Vehicular Bricks, Including Welded Wire Fabric)	22	CY		

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

COMPANY NAME: _____

No	Category	Qty	Units	Unit Price	Total Cost
48	10' Concrete Tray (Underneath Pedestrian and Vehicular Bricks, Including Welded Wire Fabric)	65	CY		
49	8' Concrete Curb Ramp (Including Welded Wire Fabric)	30	CY		
50	10' Concrete Curb Ramp (Including Welded Wire Fabric)	40	CY		
51	Roadway Striping (6" Double Yellow) - Painted	0.389	GM		
52	10'-30' Skip Yellow Centerline Stripe	0.247	GM		
53	Handicap Signage	9	EA		
54	W11-2 Crosswalk Sign	8	EA		
55	24" Stop Bar - White Thermoplastic	302	LF		
56	Ramp Chevron w/Approach Marking	8	EA		
57	Relocate Stop Sign	16	EA		
58	Bidirectional Raised Pavement Markers (Yellow)	132	EA		
59	Bidirectional Raised Pavement Markers (Blue)	7	EA		
60	4" White Parking Stripe	0.676	GM		
61	Temporary Striping	1.06	GM		
62	Thermoplastic, White, Preformed, Arrows	9	EA		
63	Quercus V. - 3" DBH	24	EA		
64	Ulmus P 'Bosque' - 3" DBH	13	EA		
65	Sabal Palmetto - 18' CT	12	EA		
66	Ligustrum Japonicum	3	EA		
67	3 Gal - Liriope/ Muhly	1,750	EA		
68	1 Gal - Groundcover - Asiatic Jasmine	1,100	EA		
69	4" Pot - Annuals	1,500	EA		
70	Drip Irrigation - Potable Water Source - No Well	1	LS		
71	2-year Landscape and Irrigation Maintenance - In Accordance with Maintenance Instructions in Plan Set	1	LS		
72	Pedestrian Pavers - 6" Conc Base, 2" Flowable Fill	48,000	SF		

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

No	Category	Qty	Units	Unit Price	Total Cost
73	Vehicular Pavers - Set on 2" Flowable Fill (Conc by Civil)	17,500	SF		
74	18"H Ballast Stone Seatwalls at Intersections	350	LF		
75	Palafox Planter	460	LF		
76	Bench	18	EA		
77	Litter Receptacle	28	EA		
78	Bike Rack	12	EA		
79	Planters	114	EA		
80	NPDES Permit/SWPPP and Implementation	1	LS		
81	NPDES Permit Fee	1	LS		
82	Allowance = Design and Installation of Banners, Wayfinding Signage,	1	LS	\$100,000.00	\$100,000.00
BASE BID TOTAL					
1. Bid shall include all associated earthwork and necessary back-sloping as determined by the City of Pensacola					
2. This bid proposal contains line items which may not be called out on the plans. Such items have been included to address potential unforeseen conditions.					
3. The City of Pensacola reserves the right to move forward with or opt out of bid alternates in any order.					
4. Contractor shall note that relocation of gas mains is performed at no cost to the Contractor but does require coordination and advanced notification of Pensacola Energy in order for work to be completed in a timely manner.					

Bidder: _____
 Name of Company (Please Print)

Date: _____

By: _____
 Authorized Representative (Please Print)

Signature: _____

Title: _____

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

COMPANY NAME: _____

BID ALTERNATE #1

No	Category	Quantity	Units	Unit Price	Total Cost
1	Deduct Entirety of Base Bid Items	1	LS		
2	Mobilization and Demobilization	1	LS		
3	Erosion Control* (incl. silt fence, outlet protection, haybales, sand bags, turbidity barrier, by-pass piping, by-pass pumping, etc.)	1	LS		
4	Maintenance of Traffic (FDOT Standards)	1	LS		
5	Utility Coordination/Relocation	1	LS		
6	Remove Asphalt	1,402	SY		
7	Remove Concrete Curb	6,253	LF		
8	Remove Miscellaneous Concrete (Including Curb Ramps)	1,425	LF		
9	Remove Brick Crosswalk	650	SF		
10	Remove Drainage Structure	18	EA		
11	Remove Valley Gutter	1,200	LF		
12	Remove Type F Modified Curb and Gutter	7000	LF		
13	Saw Cut and Remove Top of Vault Structure	75	CY		
14	Route 12" Watermain Around Drainage Structure, to include all Fittings and Testing	374	LF		
15	Route 10" Watermain Around Drainage Structure, to Include all Fittings and Testing	400	LF		
16	Furnish and Install 12" Top Concrete Slab	45	CY		
17	Adjust/Raise Water Valve to Grade	49	EA		
18	Adjust Drainage Manhole to Grade	13	EA		
19	Adjust Parking Meter	4	EA		
20	Adjust Electrical Manhole to Grade	33	EA		
21	Adjust Communications Manhole to Grade	12	EA		
22	Adjust Sanitary Sewer Manhole to Grade	19	EA		
23	Replace Drainage Structure	1	EA		
24	Relocate Light Pole	4	EA		
25	Furnish and Install Junction Box	18	EA		

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

COMPANY NAME: _____

BID ALTERNATE #1

No	Category	Quantity	Units	Unit Price	Total Cost
26	Furnish and Install Type 5 Curb Inlet, <10'	11	EA		
27	Furnish and Install Type 6 Curb Inlet	12	EA		
28	Furnish and Install Type C Ditch Bottom Inlet <10'	6	EA		
29	Furnish and Install 15" RCP	891	LF		
30	Furnish and Install 18" RCP	350	LF		
31	Furnish and Install 2"PVC from Roof Drains to Face of Curb	100	LF		
32	Furnish and Install 3"PVC from Roof Drains to Face of Curb	1	LF		
33	Furnish and Install 4"PVC from Roof Drains to Face of Curb	350	LF		
34	Furnish and Install Roof Drain Aluminum Curb Face Fitting (Curb-o-let) with Pipe	25	EA		
35	Furnish and Install 12"x18" ERCP	150	LF		
36	Furnish and Install 14"x23" ERCP	450	LF		
37	Furnish and Install Riser with Ring and Cover	23	EA		
38	Furnish and Install Petromat	5,000	SY		
39	Type F Curb and Gutter	5,754	LF		
40	3' Valley Gutter	800	LF		
41	Plug/Grout East Pipe Invert	6.5	CY		
42	Raise Roof Drain Sump to Finished Grade	1	EA		
43	Milling Existing Asphalt Paving SP-12.5 1.5"-3" Depth	6,300	SY		
44	Milling Existing Asphalt Paving SP-12.5 3"-6" Depth	8,000	SY		
45	Milling Existing Concrete Paving	2,500	SY		
46	1-1/2" Asphalt Overlay	14,300	SY		
47	6" Concrete Slab (Including Welded Wire Fabric)	645	CY		
48	8' Concrete Tray (Underneath Pedestrian and Vehicular Bricks, Including Welded Wire Fabric)	22	CY		
49	10' Concrete Tray (Underneath Pedestrian and Vehicular Bricks, Including Welded Wire Fabric)	65	CY		
50	8' Concrete Curb Ramp (Including Welded Wire Fabric)	30	CY		

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
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COMPANY NAME: _____

BID ALTERNATE #1

No	Category	Quantity	Units	Unit Price	Total Cost
51	10' Concrete Curb Ramp (Including Welded Wire Fabric)	40	CY		
52	Roadway Striping (6" Double Yellow) - Painted	0.389	GM		
53	10'-30' Skip Yellow Centerline Stripe	0.247	GM		
54	Handicap Signage	9	EA		
55	W11-2 Crosswalk Sign	8	EA		
56	24" Stop Bar - White Thermoplastic	302	LF		
57	Ramp Chevron w/Approach Marking	8	EA		
58	Relocate Stop Sign	16	EA		
59	Bidirectional Raised Pavement Markers (Yellow)	132	EA		
60	Bidirectional Raised Pavement Markers (Blue)	7	EA		
61	4" White Parking Stripe	0.676	GM		
62	Temporary Striping	1.06	GM		
63	Thermoplastic, White, Preformed, Arrows	9	EA		
64	Quercus V. - 3" DBH	24	EA		
65	Ulmus P 'Bosque' - 3" DBH	13	EA		
66	Sabal Palmetto - 18' CT	12	EA		
67	Ligustrum Japonicum	3	EA		
68	3 Gal - Liriope/ Muhly	1,750	EA		
69	1 Gal - Groundcover - Asiatic Jasmine	1,100	EA		
70	4" Pot - Annuals	1,500	EA		
71	Drip Irrigation - Potable Water Source - No Well	1	LS		
72	2-year Landscape and Irrigation Maintenance - In Accordance with Maintenance Instructions in Plan Set	1	LS		
73	Pedestrian Pavers - 6" Conc Base, 2" Flowable Fill	48,000	SF		
74	Vehicular Pavers - Set on 2" Flowable Fill (Conc by Civil)	17,500	SF		
75	18"H Ballast Stone Seatwalls at Intersections	350	LF		
76	Palafox Planter	460	LF		
77	Bench	18	EA		

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

BID ALTERNATE #1					
No	Category	Quantity	Units	Unit Price	Total Cost
78	Litter Receptacle	28	EA		
79	Bike Rack	12	EA		
80	Planters	114	EA		
81	NPDES Permit/SWPPP and Implementation	1	LS		
82	NPDES Permit Fee	1	LS		
83	Allowance = Design and Installation of Banners, Wayfinding Signage, Fence	1	LS	\$100,000.00	\$100,000.00
BID ALT #1 TOTAL					
1. Bid shall include all associated earthwork and necessary back-sloping as determined by the City of Pensacola					
2. This bid proposal contains line items which may not be called out on the plans. Such items have been included to address potential unforeseen conditions.					
3. The City of Pensacola reserves the right to move forward with or opt out of bid alternates in any order.					
4. Contractor shall note that relocation of gas mains is performed at no cost to the Contractor but does require coordination and advanced notification of Pensacola Energy in order for work to be completed in a timely manner.					

Bidder: _____
 Name of Company (Please Print)

Date: _____

By: _____
 Authorized Representative (Please Print)

Signature: _____

Title: _____

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

COMPANY NAME: _____

BID ALTERNATE #2

No	Category	Quantity	Units	Unit Price	Total Cost
1	Mobilization and Demobilization	1	LS		
2	Erosion Control* (incl. silt fence, outlet protection, haybales, sand bags, turbidity barrier, by-pass piping, by-pass pumping, etc.)	1	LS		
3	Maintenance of Traffic (FDOT Standards)	1	LS		
4	Utility Coordination/Relocation	1	LS		
5	Remove Asphalt	598	SY		
6	Remove Concrete Curb	747	LF		
7	Remove Miscellaneous Concrete (Including Curb Ramps)	75	SY		
8	Remove Drainage Structure	1	EA		
9	Type F Curb and Gutter	696	LF		
10	6" Concrete Slab (Including Welded Wire Fabric)	55	CY		
11	10' Concrete Tray (Underneath Pedestrian and Vehicular Bricks, Including Welded Wire Fabric)	35	CY		
12	Remove Thermoplastic Markings	690	SF		
13	24" Stop Bar - White Thermoplastic	98	LF		
14	Thermoplastic, Preformed, White, Solid, 12" Crosswalk	340	LF		
15	Bidirectional Raised Pavement Markers (Yellow)	9	EA		
16	2'-4' Skip Yellow Turning (Thermoplastic)	0.07	GM		
17	Quercus V. - 3" DBH	4	EA		
18	3 Gal - Liriope/ Muhly	1,000	EA		
19	1 Gal - Groundcover - Asiatic Jasmine	200	EA		
20	Drip Irrigation - Potable Water Source - No Well	1	LS		
21	2-year Landscape and Irrigation Maintenance - In Accordance with Maintenance Instructions in Plan Set	1	LS		
22	Pedestrian Pavers - 6" Conc Base, 2" Flowable Fill	9,500	SF		
23	Vehicular Pavers - Set on 2" Flowable Fill (Conc by Civil)	750	SF		

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

BID ALTERNATE #2					
No	Category	Quantity	Units	Unit Price	Total Cost
24	18"H Ballast Stone Seatwalls at Intersections	60	LF		
25	Streetbond 250 Application in FDOT ROW	1000	LF		
26	Litter Receptacle	6	EA		
27	Bike Rack	10	EA		
28	NPDES Permit/SWPPP and Implementation	1	LS		
29	NPDES Permit Fee	1	LS		
BID ALT #2 TOTAL					
1. Bid shall include all associated earthwork and necessary back-sloping as determined by the City of Pensacola					
2. This bid proposal contains line items which may not be called out on the plans. Such items have been included to address potential unforeseen conditions.					
3. The City of Pensacola reserves the right to move forward with or opt out of bid alternates in any order.					
4. Contractor shall note that relocation of gas mains is performed at no cost to the Contractor but does require coordination and advanced notification of Pensacola Energy is order for work to be completed in a timely manner.					

Bidder: _____
 Name of Company (Please Print)

Date: _____

By: _____
 Authorized Representative (Please Print)

Signature: _____

Title: _____

BID NO. 25-045
S. PALAFOX PLACE PEDESTRIAN IMPROVEMENTS (GARDEN ST. TO MAIN ST.)
QUANTITY SHEET
ADDENDUM #1 - 9/25/25

BID ALTERNATE #3

No	Category	Quantity	Units	Unit Price	Total Cost
1	Mobilization and Demobilization	1	LS		
2	Erosion Control* (incl. silt fence, outlet protection, haybales, sand bags, turbidity barrier, by-pass piping, by-pass pumping, etc.)	1	LS		
3	Maintenance of Traffic (FDOT Standards)	1	LS		
4	Utility Coordination/Relocation	1	LS		
5	Remove Existing Bollard and Concrete Footing Trench	99	CY		
6	Install 8" Limerock Base	22	CY		
7	Place Fill	76	CY		
8	Saw Cut New Bollard Location	350	SY		
9	Excavate New Bollard Footing Trench	350	CY		
10	Install New 20 MPH Bollard (Bollard, Cover, Installation and Concrete Trench Included)	130	EA		
11	Install New 30 MPH Bollard (Bollard, Cover, Installation and Concrete Trench Included)	32	EA		
12	Install New 50 MPH Bollard (Bollard, Cover, Installation and Concrete Trench Included)	75	EA		
13	Install Misc. Concrete	25	CY		
14	NPDES Permit/SWPPP and Implementation	1	LS		
15	NPDES Permit Fee	1	LS		

BID ALT #3 TOTAL

1. Bid shall include all associated earthwork and necessary back-sloping as determined by the City of
2. This bid proposal contains line items which may not be called out on the plans. Such items have been included to address potential unforeseen conditions.
3. The City of Pensacola reserves the right to move forward with or opt out of bid alternates in any order.
4. Contractor shall note that relocation of gas mains is performed at no cost to the Contractor but does require coordination and advanced notification of Pensacola Energy in order for work to be completed in a

Bidder: _____

Date: _____

Name of Company (Please Print)

By: _____

Authorized Representative (Please Print)

Signature: _____

Title: _____

TIERRA

November 12, 2024

Mr. Michael Langston, PE.
Baskerville-Donovan, Inc.
449 West Main Street
Pensacola, FL 32502

Subject: Palafox Place Pedestrian Improvements
Pensacola, Florida
Tierra Project No. 4511-24-058

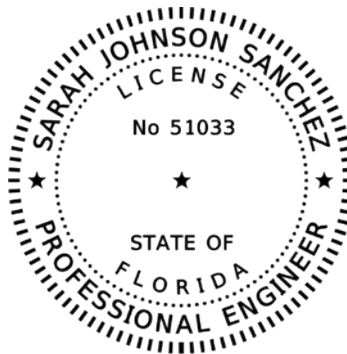
Mr. Langston:

This letter forwards the results of the pavement cores and shallow auger borings performed for the subject project. A total of five (5) cores with auger borings were performed on Palafox Place between Main Street and Garden Street. The cores were located within the wheel path of the right and left travel lanes (R1 and L1, respectively).

Attached are the pavement core and core location photos and the Pavement Evaluation Data Form. Cores C-1, C-3, C-4, and C-5 encountered approximately 1 $\frac{3}{4}$ inches to 3 $\frac{3}{4}$ inches of structural asphalt followed by approximately 5 inches to 7 inches and SAHM/ABC III underlain by sand, slightly silty sand or silty sand (Select A-3 or A-2-4 soils) to approximately 12 inches to 21 inches below grade where refusal due to an obstruction was encountered. Note that core C-2 encountered 6 inches of concrete beneath the SAHM/ABC III before the core was terminated (still in concrete). Groundwater was not encountered in the borings at the time of drilling.

We hope this letter provides sufficient information for the present. If you have any questions or comments, please feel free to call.

Sincerely,
TIERRA, INC.




THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE
NOT CONSIDERED SIGNED AND SEALED
AND THE SIGNATURE MUST BE VERIFIED
ON ANY ELECTRONIC COPIES.

TIERRA, INC.
1300 WEST MAIN STREET
PENSACOLA, FLORIDA 32502

SARAH JOHNSON SANCHEZ, P.E. NO. 51033



Mitchell L. Smith, PE
Principal Geotechnical Engineer
Florida License No. 43416

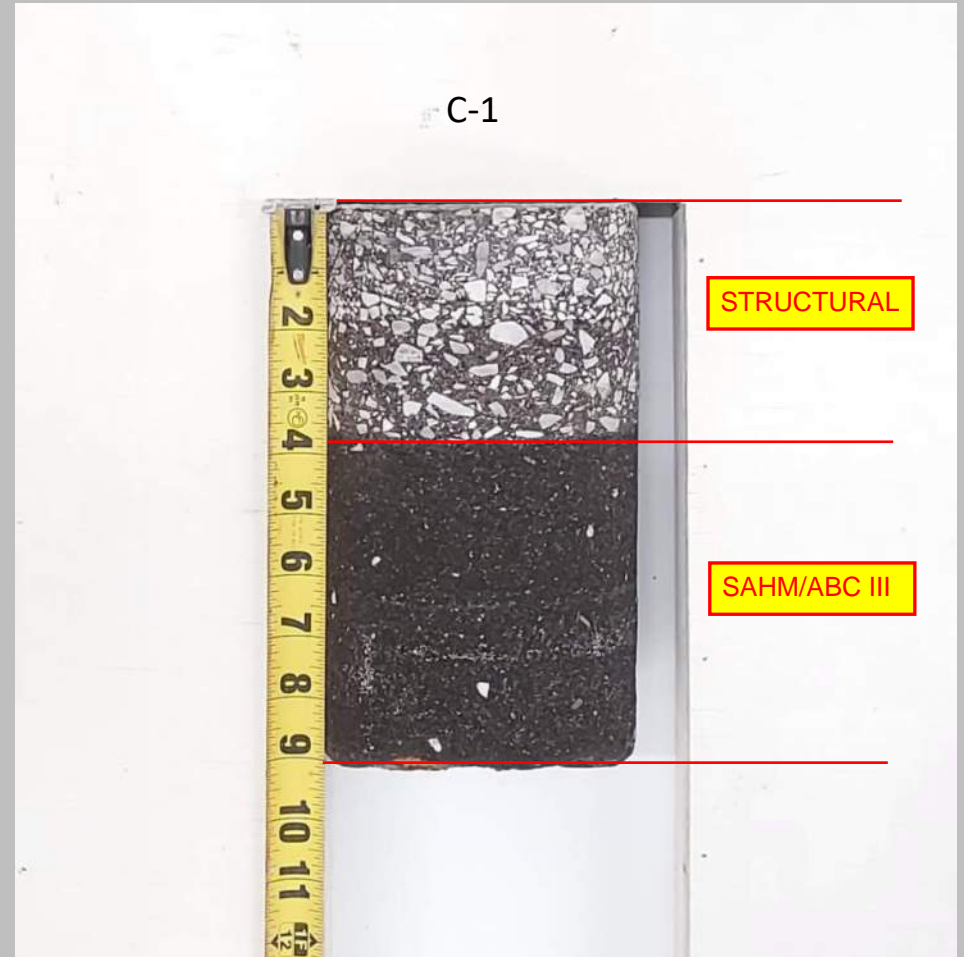
Sarah Johnson Sanchez, PE
Sr. Project Engineer
Florida License No. 51033

Attachments: Pavement Core Photos
Pavement Evaluation Data Form

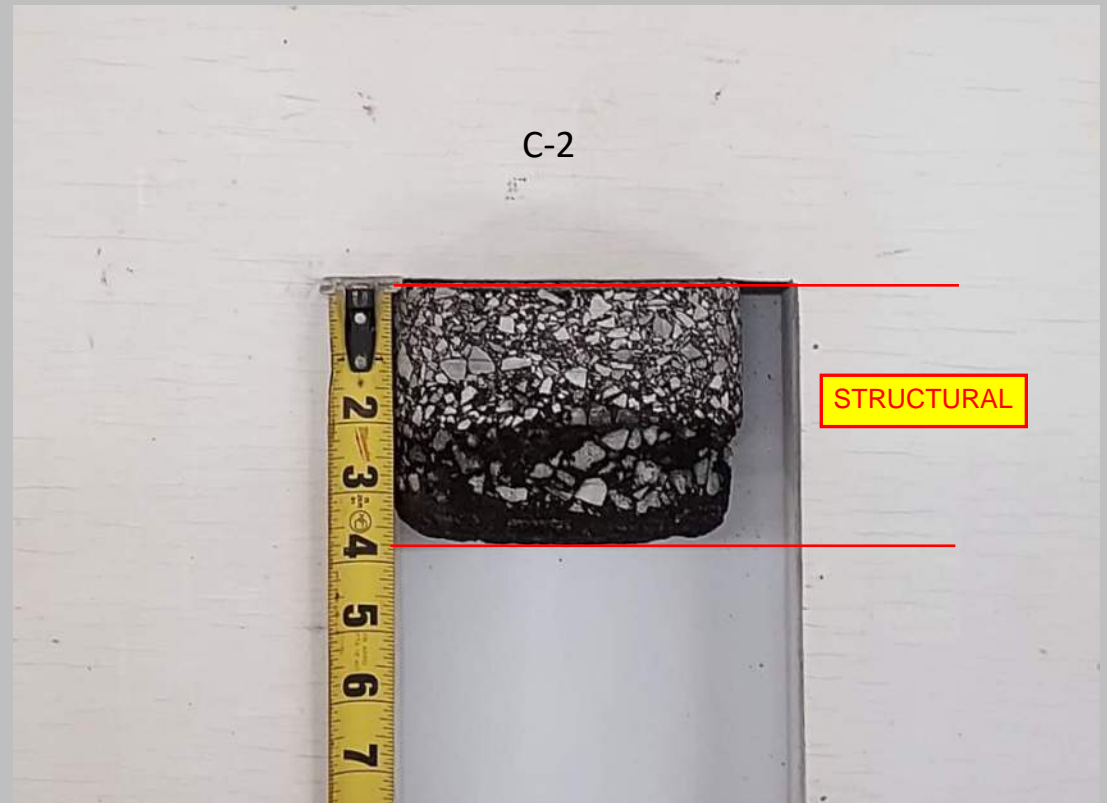


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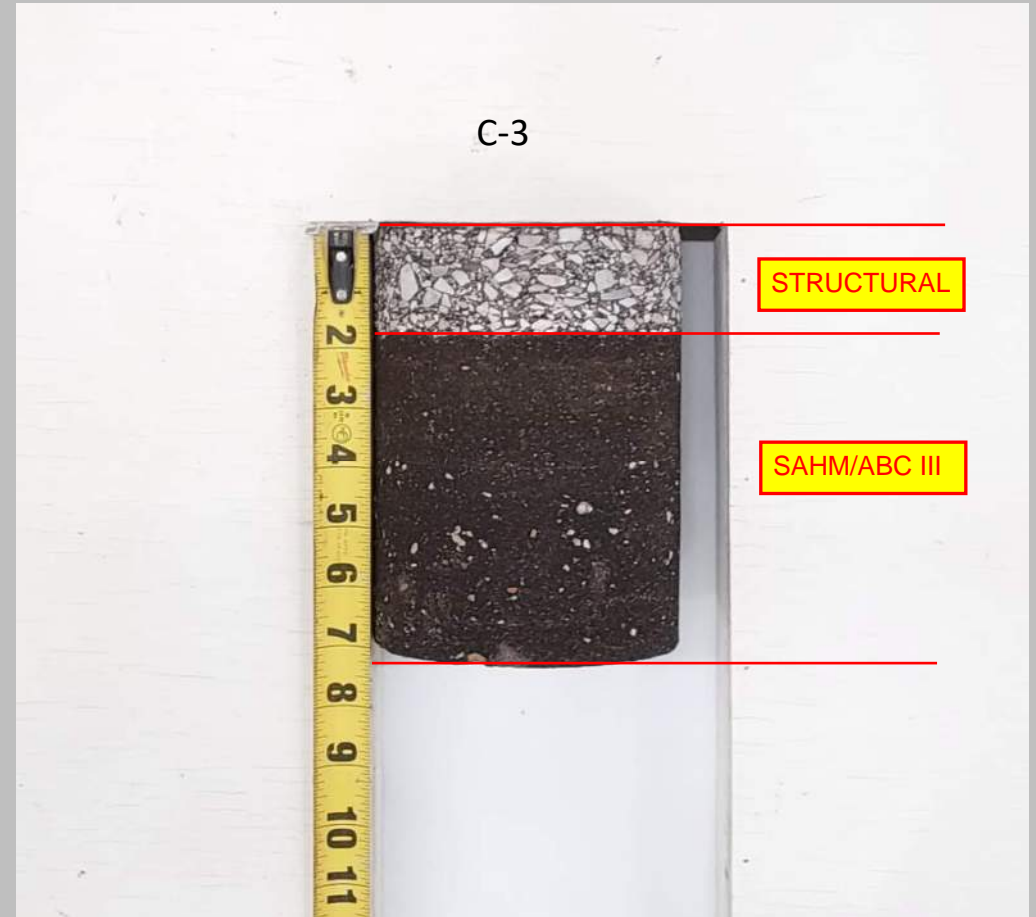
Palafox Place
Core #1
Lane L1
1112942E / 522210N



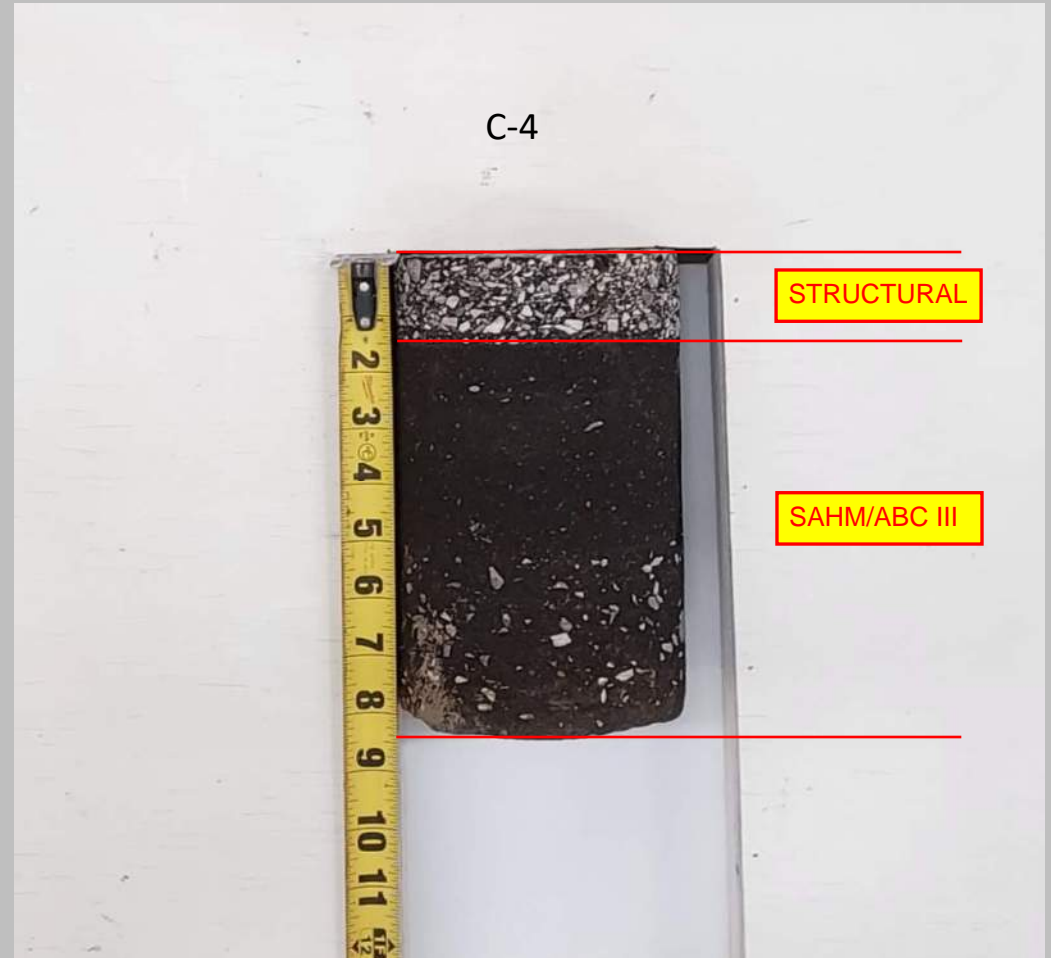
Palafox Place
Core #2
Lane R1
1112909E / 522472N



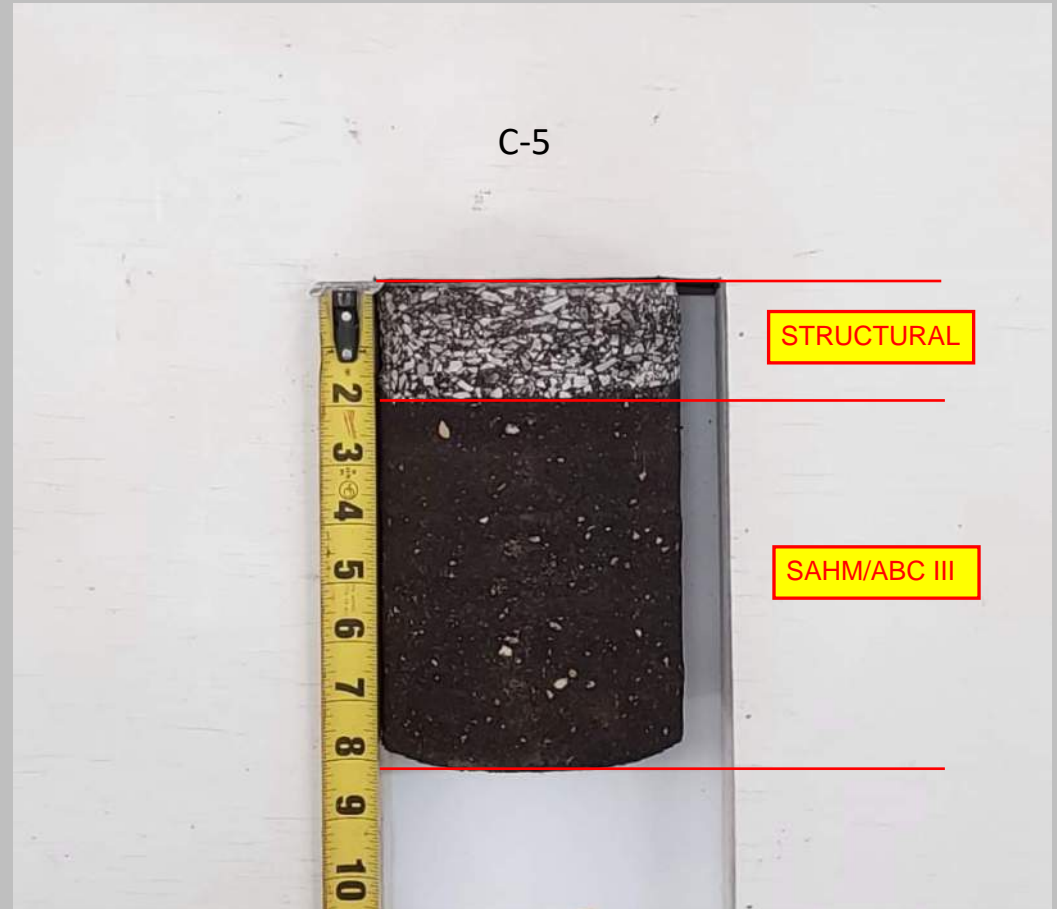
Palafox Place
Core #3
Lane L1
1112816E / 522917N



Palafox Place
Core #4
Lane R1
1112756E / 523306N



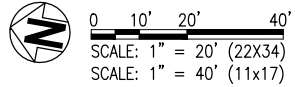
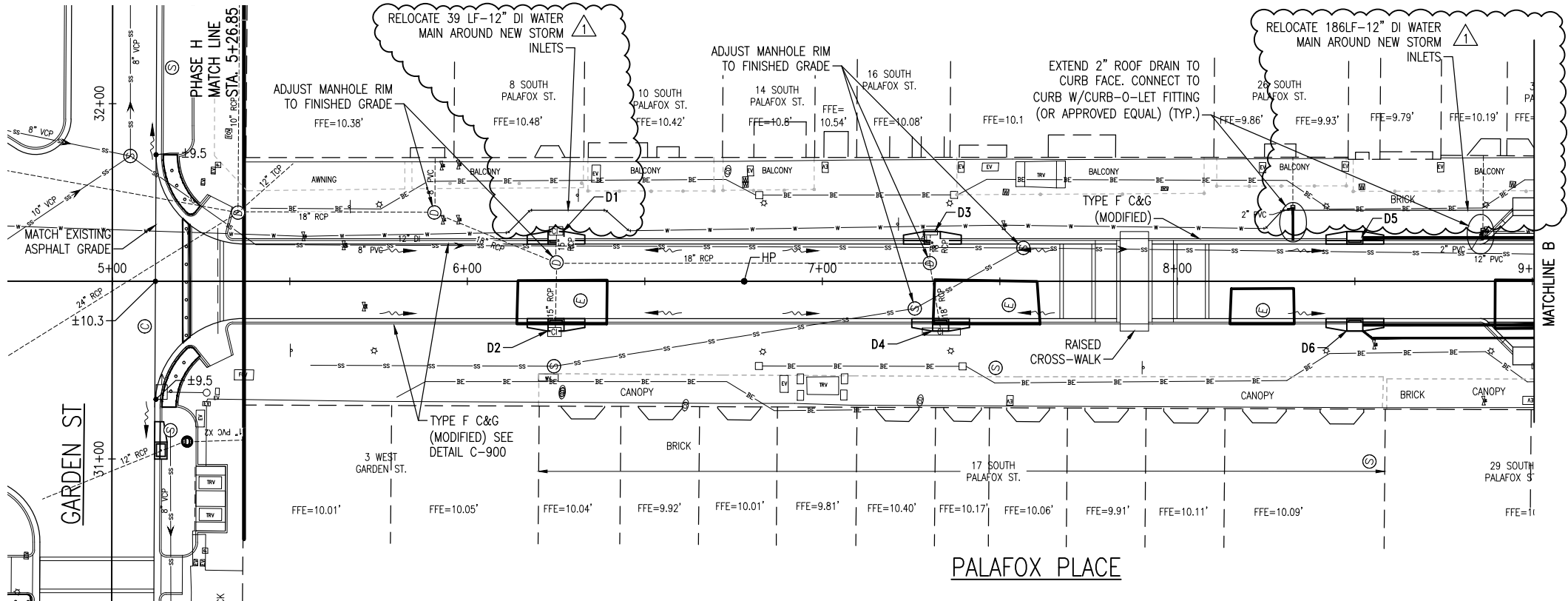
Palafox Place
Core #5
Lane R1
1112686E / 523697N



PAVEMENT EVALUATION CORING AND CONDITION DATA

Cored by: Tierra, Inc. Coring Completion Date: 11/01/24 Page 1 of 1 Typical Section No.: NA

Roadway Section:											Name: Palafox Place					Lanes: R1, L1							
Fin. Proj. ID: NA											From: Main Street (South Terminus)					Shoulder Type and Condition: Paved							
F.A. Proj. No.: NA											To: Garden Street (North Terminus)					Inside: NA							
County: Escambia				SR No.:				Beg MP:		End MP:		Length: 0.356		Outside: Y									
Median Curbed (Y/N): N				Paved: N		Lawn:												Curb & Gutter (Y/N): Y					
Core No.	Easting/Northing	Lane	Wheel Path (Y / N)	Pavement Layer (in.)							Base			STABILIZED SUBGRADE (in.)	Crack				Pvmt Cond	Rut Depth (in.)	Cross Slope (%)	Comments	
				Top FC-12.5	Structural	SAHM/ABC III				Core Lgth (in.)	SCLY	LR	GAB		Depth (in.)	Type	Class	Extent					
1	1112942E / 522210N	L1	Y	-	3.75	5.25	-	-	-	9	-	-	-	-	-	-	-	-	-	-	-	-	Refusal in subgrade auger boring at 21 inches below pavement surface.
2	1112909E / 522472N	R1	Y	-	3.75	-	-	-	-	3.75	-	-	-	-	-	-	-	-	-	-	-	Concrete encountered below structural asphalt layer. Concrete core terminated at 6 inch depth.	
3	1112816E / 522917N	L1	Y	-	2.75	4.50	-	-	-	7.25	-	-	-	-	-	-	-	-	-	-	-	Refusal in subgrade auger boring at 19 inches below pavement surface.	
4	1112756E / 523306N	R1	Y	-	1.50	7.00	-	-	-	8.5	-	-	-	-	-	-	-	-	-	-	-	Refusal in subgrade auger boring at 18 inches below pavement surface.	
5	1112686E / 523697N	R1	Y	-	1.75	6.25	-	-	-	8	-	-	-	-	-	-	-	-	-	-	-	Refusal in subgrade auger boring at 18 inches below pavement surface.	
Lane Designations										Base Type				Crack Type		Crack Classification		Crack Extent		Pavement Condition			
R1 - 1st Lane Right of Centerline										LR - Limerock				A - Alligator		Class I: Hairline, ≤ 1/8 inch wide		L - Light		G - Good			
R2 - 2nd Lane Right of Centerline										GAB - Graded Aggregate				B - Block		Class II: > 1/8 inch to ≤ 1/4 inch wide		M - Moderate		F - Fair			
OR/IR - Outside/Inside Shoulder of Right Lane										SCLY - Sand Clay				C - Combination		Class III: > 1/4 inch wide		S - Severe		P - Poor			
RLTL - Right Lane, Left Turn Lane										ABC - Sand Asphalt				R - Ravelling									
RRTL - Right Lane, Right Turn Lane										SAHM - Sand Asphalt Hot Mix				P - Pumping									

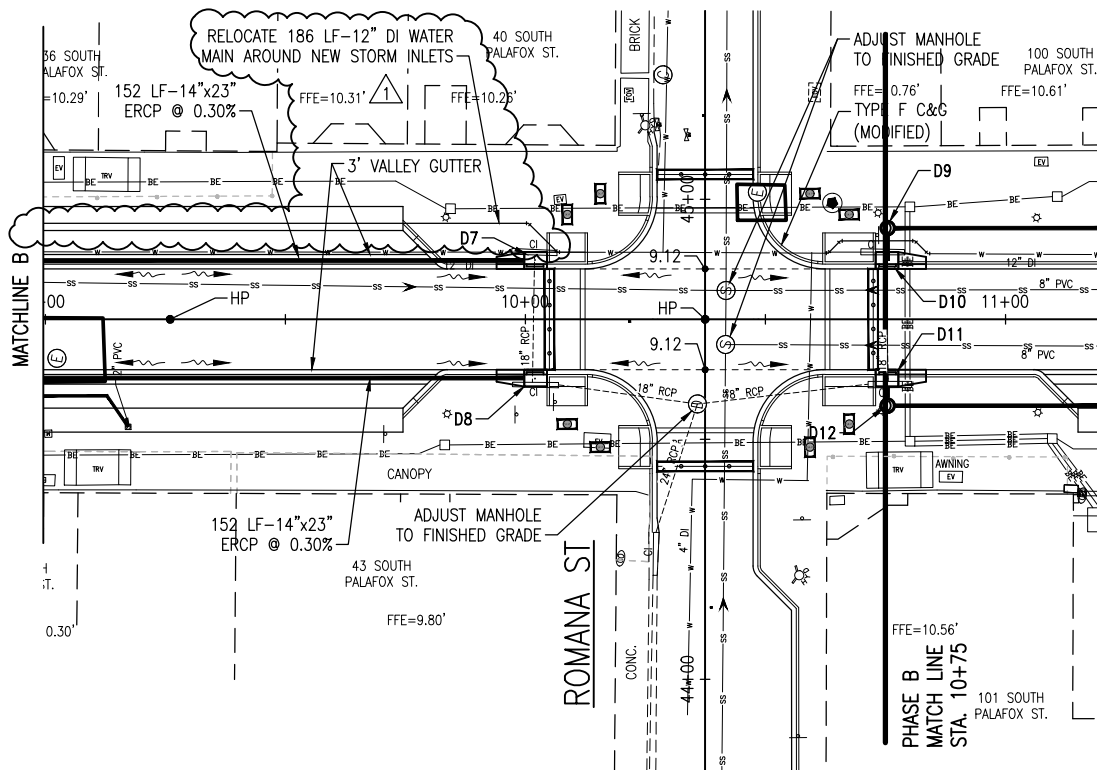


LEGEND

- ① DRAINAGE MANHOLE
- ② SANITARY SEWER MANHOLE
- ③ ELECTRICAL MANHOLE
- ④ COMMUNICATIONS MANHOLE
- ⑤ POTABLE WATER MANHOLE
- ⑥ GAS VALVE
- ⑦ WATER VALVE
- ⑧ SANITARY SEWER VALVE
- 10.44 NEW SPOT GRADE
- DRAINAGE FLOW DIRECTION

NOTES:

- ALL ROOF DRAIN PIPING EXTENSIONS SHALL BE EPOXY COATED DUCTILE IRON.
- ALL ROOF DRAIN PIPING SHALL AT A MINIMUM MATCH THE SLOPE OF THE PEDESTRIAN WALK EXTENSION AND EXIT WITHIN THE CURB FACE.



DRAINAGE STRUCTURE TABLE PHASE A

STRUCTURE	TYPE	STATION	OFFSET	THROAT/TOP ELEV	INVERT ELEV	INVERT ELEV	INVERT ELEV
D1	FDOT TYPE 6	6+25	12.25' LT	8.50	± 6.94 (EXIST) West		
D2	FDOT TYPE 6	6+25	12.25' RT	8.50	W 15"RCP ± 6.60 (EXIST)	E 15" PVC = 6.63	
D3	FDOT TYPE 6	7+33.3	12.25' LT	8.49	± 7.60 (EXIST) West		
D4	FDOT TYPE 6	7+32	12.25' RT	8.49	± 6.70 (EXIST) East		
D5	FDOT TYPE 6	7+33	12.25' LT	8.45		± 7.20 South	
D6	FDOT TYPE 6	7+34	12.25' RT	8.45		± 6.30 South	
D7	FDOT TYPE 5	7+35	12.25' LT	8.89	± 6.6 (EXIST) West	± 6.70 North	
D8	FDOT TYPE 5	7+36	12.25' RT	8.89	± 5.9 (EXIST) East	± 5.80 North	S ± 6.08

PAVEMENT ELEVATION TABLE PHASE A

STATION	ELEVATION		
	Center Line	R EOP	L EOP
5+50	9.407	9.197	9.197
6+00	8.942	8.732	8.732
6+50	8.833	8.623	8.623
7+00	8.86	8.65	8.65
7+50	8.788	8.578	8.578
8+00	8.915	8.705	8.705
8+50	8.66	8.45	8.45
9+00	9.199	8.989	8.989
9+50	9.36	9.15	9.15
10+00	9.11	8.90	8.90
11+00	9.336	9.126	9.126

PHASE A

S. PALAFOX PLACE
PEDESTRIAN
IMPROVEMENTS

BASKERVILLE-DONOVAN, INC.
ENGINEERING THE SOUTH SINCE 1927



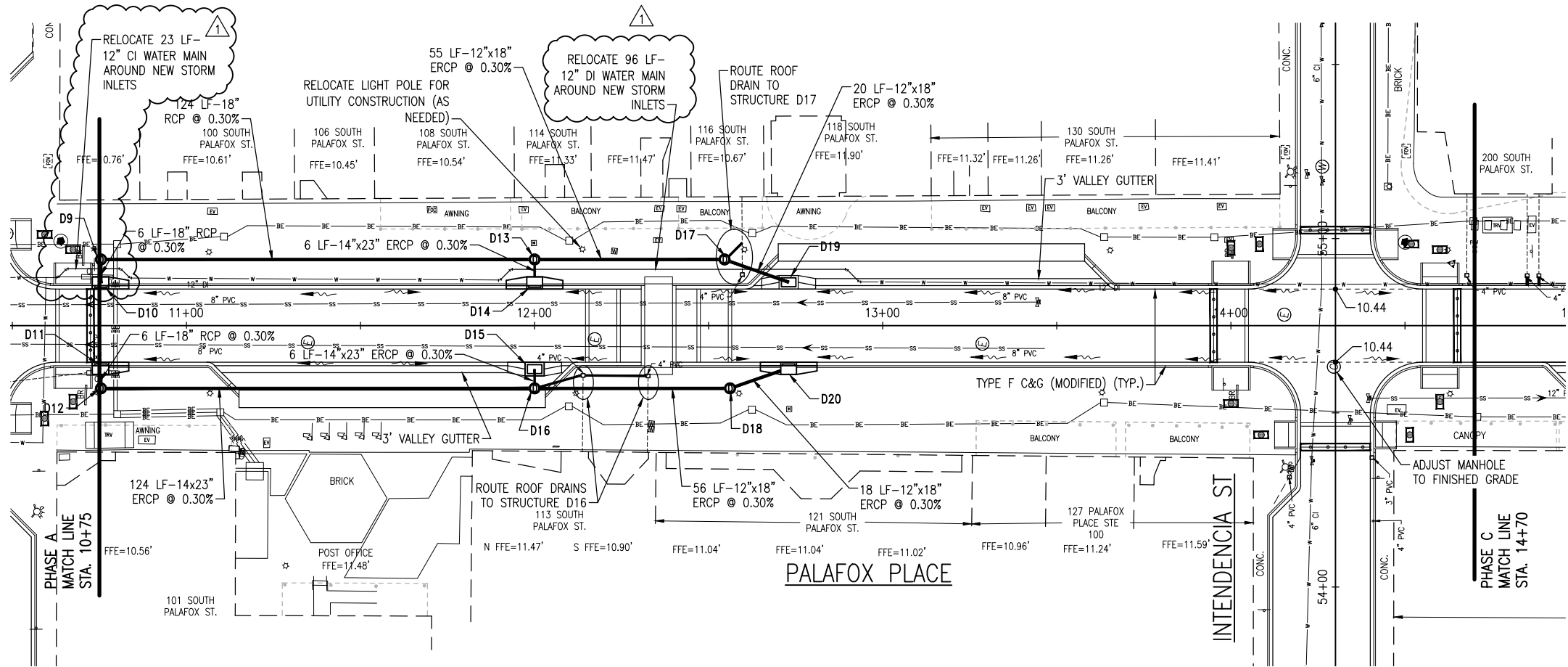
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ENGINEERING BUSINESS: EB-0000340

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PROJECT NO.	DATE	APPR.	REVISION / ACTION	TAKEN
24324.01	08/24/25	JJF	REROUTE WATER MAIN	
DESIGNED BY: MDL				
DRAWN BY: RGG				
CHK'D BY: MDL				
PROJ. MGR: JJF				
DATE: AUG 2025				

PALAFOX PLACE
DRAINAGE PLAN

C-103



0 10' 20' 40'
SCALE: 1" = 20' (22X34)
SCALE: 1" = 40' (11X17)

LEGEND

- ① DRAINAGE MANHOLE
- ② SANITARY SEWER MANHOLE
- ③ ELECTRICAL MANHOLE
- ④ COMMUNICATIONS MANHOLE
- ⑤ POTABLE WATER MANHOLE
- ⑥ GAS VALVE
- ⑦ WATER VALVE
- ⑧ SANITARY SEWER VALVE
- 10.44 NEW SPOT GRADE
- DRAINAGE FLOW DIRECTION

NOTES:

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- ALL ROOF DRAIN PIPING SHALL AT A MINIMUM MATCH THE SLOPE OF THE PEDESTRIAN WALK EXTENSION AND EXIT WITHIN THE CURB FACE.

DRAINAGE STRUCTURE TABLE PHASE B

STRUCTURE	TYPE	STATION	OFFSET	THROAT/TOP ELEV	INVERT ELEV	INVERT ELEV	INVERT ELEV
D9	JUNCTION BOX	10+75.43	19' LT	9.45	S ± 6.63	W ± 6.62	
D10	FDOT TYPE 5	10+75.43	12.25' LT	8.95	± 6.60 West	6.20 E	North
D11	FDOT TYPE 5	10+75.43	12.25' RT	8.95	± 6.30 (EXIST) West	6.54 (EXIST) North	± 6.27 (EXIST) East
D12	JUNCTION BOX	10+75.43	18' RT	9.45	S ± 6.33	E ± 6.32	
D13	JUNCTION BOX	12+00	19' LT	9.97	W ± 7.00	N ± 6.99	S ± 7.00
D14	FDOT TYPE 6	12+00	12.25' LT	9.47	E ± 7.01		
D15	FDOT TYPE C	12+00	12.5' RT	9.47	W ± 6.71		
D16	JUNCTION BOX	12+00	18' RT	9.97	N ± 6.69	E ± 6.7	S ± 6.67
D17	JUNCTION BOX	12+54.56	19' LT	10.30	N ± 7.16	S ± 7.17	
D18	JUNCTION BOX	12+56.12	18' RT	10.30	N ± 6.83	S ± 6.86	
D19	FDOT TYPE C	12+73	12.5' LT	9.34	N ± 7.22		
D20	FDOT TYPE 6	12+73	12.25' RT	9.34	N ± 6.89	± 3.91	

PAVEMENT ELEVATION TABLE PHASE B

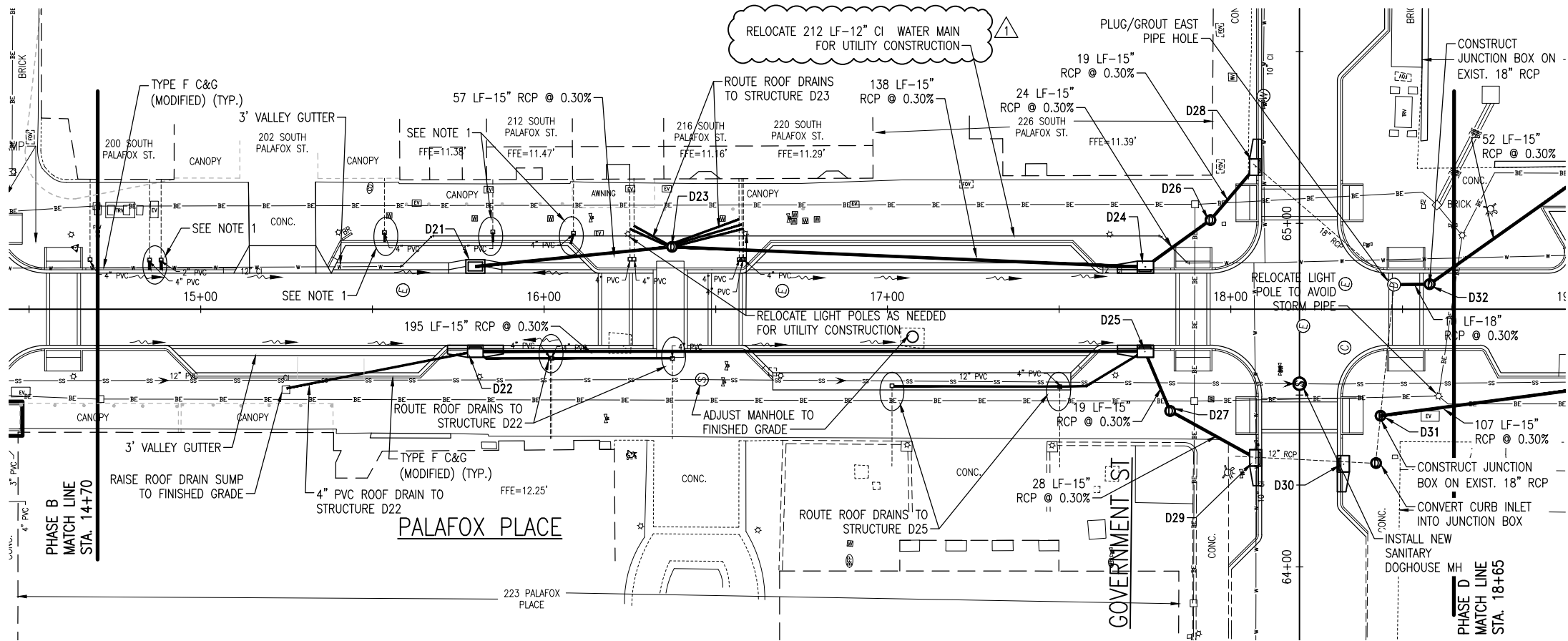
STATION	ELEVATION		
	Center Line	R EOP	L EOP
11+00	9.336	9.126	9.126
11+50	9.689	9.479	9.479
12+00	9.68	9.47	9.47
12+50	9.763	9.553	9.553
13+00	9.811	9.601	9.601
13+50	10.141	9.931	9.931
14+00	10.472	10.262	10.262
15+00	10.32	10.11	10.11

S. PALAFOX PLACE
PEDESTRIAN
IMPROVEMENTS

PROJECT NO.	NO.	DATE	APPR.	REVISION/ACTION TAKEN
24324.01	1	08/24/25	JJF	REROUTE WATER MAIN

DESIGNED BY: MDL	NO.	DATE	APPR.	REVISION/ACTION TAKEN
DRAWN BY: RGG				
CHK'D BY: MDL				
PROJ. MGR: JJF				
DATE: AUG 2025				

PALAFOX PLACE
DRAINAGE PLAN



0 10' 20' 40'
SCALE: 1" = 20' (22X34)
SCALE: 1" = 40' (11X17)

LEGEND

- ① DRAINAGE MANHOLE
- ② SANITARY SEWER MANHOLE
- ③ ELECTRICAL MANHOLE
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- ⑦ WATER VALVE
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- 10.44 NEW SPOT GRADE
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- ALL ROOF DRAIN PIPING SHALL AT A MINIMUM MATCH THE SLOPE OF THE PEDESTRIAN WALK EXTENSION AND EXIT WITHIN THE CURB FACE.
- EXTEND ROOF DRAINS TO CURB-O-LET FITTING.

DRAINAGE STRUCTURE TABLE PHASE C

STRUCTURE	TYPE	STATION	OFFSET	THROAT/TOP ELEV	INVERT ELEV	INVERT ELEV	INVERT ELEV	REMARKS
D21	FDOT TYPE C	15+80	12.50' LT	9.71	N ± 8.12	S ± 5.81		WEEP HOLE
D22	FDOT TYPE 6	15+80	12.25' RT	9.71		S ± 6.63		WEEP HOLE
D23	JUNCTION BOX	16+37.26	18.18' LT	10.70	N ± 5.64	S ± 5.64		WEEP HOLE
D24	FDOT TYPE 5	17+75	12.25' LT	9.31		SE ± 7.53	N ± 5.33	WEEP HOLE
D25	FDOT TYPE 5	17+75	12.25' RT	9.31	N ± 6.06	W ± 6.04		WEEP HOLE
D26	JUNCTION BOX	17+94.06	25.94' LT	10.15	NW ± 7.47	SE ± 7.46		
D27	JUNCTION BOX	17+82.33	29.62' RT	10.20	E ± 5.99	SW ± 5.99		
D28	FDOT TYPE 5	18+07.18	41.51' LT	9.68	SW ± 7.40 (EXIST)	NW ± 7.41		
D29	FDOT TYPE 5	18+07.26	43.40' RT	9.88	S ± 7.93 (EXIST)	NE ± 5.90		
D30	FDOT TYPE 5	18+32.76	45.13' RT	9.89	S ± 5.17 (EXIST)	N ± 5.17 (EXIST)		WEEP HOLE

PAVEMENT ELEVATION TABLE PHASE C

STATION	ELEVATION				
	Center Line	R EOP	L EOP	R Parking	L Parking
15+50	10.07	9.86	9.86	0	0
16+00	10.019	9.809	9.809	0	0
16+50	10.143	9.933	9.933	0	0
17+00	9.894	9.684	9.684	0	0
17+50	9.645	9.435	9.435	0	0
18+50	10.32	10.109	10.109	0	0
19+00	10.01	9.80	9.80	9.604	9.44

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JOHN J. FRICK, P.E.
FL Reg. Engineer #56469

S. PALAFOX PLACE
PEDESTRIAN
IMPROVEMENTS

PROJECT NO.	NO.	DATE	APPR.	REVISION / ACTION	TAKEN
24324.01	1	08/24/25	JJF	REVISION	MM TEXT
DESIGNED BY: MDL					
DRAWN BY: RGG					
CHECKED BY: MDL					
PROJ. MGR: JJF					
DATE: AUG 2025					
NOT RELEASED FOR CONSTRUCTION BY DATE					

PALAFOX PLACE
DRAINAGE PLAN

C-133

PHASE C